



CITY OF UNIVERSITY PARK
BOARD OF ADJUSTMENT APPLICATION

SITE INFORMATION:

DATE: _____

ADDRESS: 3601 PURDUE AVENUE, DALLAS TX 75225

SUBDIVISION UNIVERSITY HEIGHTS 1 AMEND. LOT # 10A2 BLOCK # L

LOT DIMENSION 185.9' X 76.03' ZONING DISTRICT SF-4

PROPERTY OWNER: GEORGE FULTON COLLINS

ADDRESS: 3623 BINKLEY AVENUE

CITY: DALLAS STATE: TEXAS ZIP: 75205

PHONE: 972-523-5250 FAX: _____

APPLICANT: GEORGE FULTON COLLINS

ADDRESS: 3623 BINKLEY AVENUE

CITY: DALLAS STATE: TEXAS ZIP: 75205

PHONE: 972-523-5250 FAX: _____

REQUEST IS FOR:

☒ A VARIANCE TO THE ZONING _____ A SPECIAL EXCEPTION TO _____ A SIGN VARIANCE
ORDINANCE DUE TO A _____ THE ZONING ORDINANCE
PROPERTY HARDSHIP*

NOTE: A VARIANCE TO THE ZONING ORDINANCE CAN ONLY BE REQUESTED FOR A
PROPERTY HARDSHIP, NOT A SELF-IMPOSED OR ECONOMIC HARDSHIP.

TO THE BOARD OF ADJUSTMENT:

THIS IS TO AFFIRM THAT AN APPLICATION HAS BEEN MADE FOR A PERMIT TO:

CONSTRUCTION OF NEW HOME

THE PERMIT APPLIED FOR HAS BEEN DENIED BY THE BUILDING INSPECTION DEPARTMENT, AS IT WAS DEEMED CONTRARY TO THE ZONING ORDINANCE OF THE CITY OF UNIVERSITY PARK. THEREFORE, AN APPEAL IS NOW MADE TO THE BOARD OF ADJUSTMENT FOR:

PLEASE REFER TO ATTACHED LETTER

AND THAT A PROPERTY HARDSHIP WILL RESULT FROM THE LITERAL INTERPRETATION AND APPLICATION OF THE ZONING ORDINANCE AS DESCRIBED ABOVE.

BY THE SIGNATURE BELOW, I AFFIRM THAT I HAVE READ THE ATTACHED INSTRUCTION SHEET, ACKNOWLEDGE THE REQUIREMENTS STIPULATED THEREIN, AND THAT THIS APPLICATION TO THE BOARD OF ADJUSTMENT IS NOT A RESULT OF SELF-IMPOSED OR ECONOMIC REASONS:

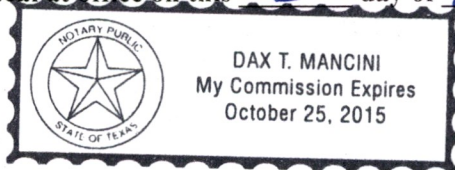
SIGNATURE OF PROPERTY OWNER (Sign and Print or Type Name)

Signature Alex Eskenasy - Alex Eskenasy

Print or Type Name: ALEX ESKENASY
(letter of authorization required if signature is other than the property owner)

Known to me to be the person whose name is subscribed to the above and foregoing instrument, and acknowledged to me that they executed the same for the purposes and consideration expressed and in the capacity therein stated.

Given under my hand and seal at office on this 3 day of August 2015



Dax T. Mancini Notary Public

Office Use Only:

Total Paid: _____ Payment Method: _____ Accepted By: _____

July 24, 2015

Board of Adjustments

City of University Park

3800 University Blvd.

University Park, TX 75205

214-363-1644

Re: Board of Adjustments Application Representative – 3601 Purdue, University Park, TX 75225

Dear Sir/Madam:

By my signature below I, George Fulton Collins authorize Alex Eskenasy president of Ehousedesigners, LLC d/b/a Alex Eskenasy Design to sign the City of University Park Board of Adjustment Application as my representative on this matter for the sole purpose of requesting variances for my property located at 3601 Purdue Avenue, University Park, TX 75225.

Sincerely,

A handwritten signature in black ink, appearing to read "G. Fulton Collins", with a stylized flourish at the end.

George Fulton Collins

ALEX
ESKENASY
DESIGN

4684 S. Versailles Avenue, Dallas TX 75209 | 214.789.8715 | alex@alexeskenasy.com

July 24, 2015

Board of Adjustments

City of University Park

3800 University Blvd.

University Park, TX 75205

214-363-1644

Re: Board of Adjustments Application Representative – 3601 Purdue, University Park, TX 75225

Dear Sir/Madam:

In reference to the property herein mentioned, and due to the site's pie shape configuration with streets on three sides, the Zoning Ordinance pertaining to the required setbacks from the property line to the building, create a unnecessary property hardship by limiting and restricting the buildable area for a two story residence in comparison to other existing two story residences within the same neighborhood and streets (see site analysis attachments).

We therefore respectfully request variances on the below Zoning Ordinances:

1. Ordinance 09/15, sec 1, (3) Development Standards, (a) building walls. Requires a rear yard setback of 40 feet for walls over 12'-6" in vertical height (two story structures).
Variance request is for a rear yard setback of 20 feet for walls over 12'-6" in height.
2. Ordinance 06/21, (c) side yard. Requires a minimum side yard of 10% of lot width.
Variance request is for a 10 feet side yard setback along adjoining property at West.

Both variance request are maintaining a similar or greater setback distance in comparison to other existing two story buildings in the surrounding neighborhood and are not contrary to the public interest and the spirit of the ordinance.

Sincerely,



Alex Eskenasy

AE/mkf

A detailed architectural sketch of a two-story Mediterranean-style house. The house features a tiled roof, multiple windows with shutters, arched doorways, and a central entrance with a balcony. The drawing is in black ink on a white background.

**ALEX
ESKENASY
DESIGN**
11316 Valleydale Dr. Dallas, TX 75220
214-789-8715 alex@my-houseleak.com

ISSUE	DATE	REMARKS
Visitation Request	7/24/2015	

Collins Residence

Cover Sheet

School Title

A0.01

Student Numbers

3601 Purdue University Park TX 75225

8/1/2015

BUILDING AREAS	
Residence A/C Basement	1,348.56 sq ft
Residence A/C 1st Flr	3,444.33 sq ft
Residence A/C 2nd Flr	4,256.96 sq ft
Residence A/C Attic	1,256.78 sq ft
Total Sq. Ft.	10,306.65 sq ft

Note: All Sq. Ft. calculations are to the exterior face of walls.

CONTACTS			
GENERAL CONTRACTOR	DESIGN	INTERIORS	STRUCTURAL
T B D	Alex Eskerasy Design 4654 S. Versailles Dallas, TX 75209 214-789-6715 alex@ataeskerasy.com	T B D	Hennessey Engineering, Inc. Pete Hennessey P.E. 1417 W. Main St. # 100 Carrollton, TX 75006 (972) 245-9478 HenengP@aol.com

	LEGAL DESCRIPTION	
	Legal Desc (Current 2015)	
1:	UNIVERSITY HEIGHTS 1 AMENDED	
2:	BLK L LOT 16AR1 ACS 0.444	
3:		
4:	INT 201400292838 DO11142014 CO-CD	
5:	218500DL16AR1 1CQ218500DL	
	Deed Transfer Date: 11/17/2014	

ZONING

University Park Zoning
Single Family Dwellings -4 (SF-4)

Front Yard Setback Main House
33'-10" Average front setback for the block.
Max. protrusion into required front yard: 36" roof eave, chimney & baywindow/18" & unenclosed, uncovered porch, 30" max. height may extend 6'-0".

Side Yard Setback Main House
Lots greater than 66', total of 2 side yards min. 24%
Max. protrusion into required front yard: 12" chimneys, 16" roof eaves & 24" chimney.

Rear Yard Setback Accessory Structure ten feet (10') to the rear property line.

Rear Yard Main House
12'-0" for main house. No more than 50% total coverage from mid-point of property in rear yard for construction above 30'

Coverage Study

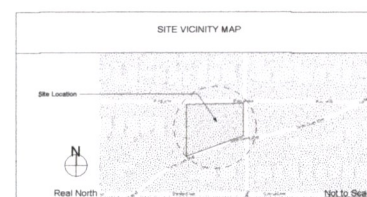
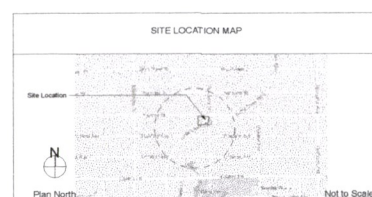
MAXIMUM BUILDING COVERAGE DISTRICT D

Total Lot Area 19,162.00 SqFt
Building Footprint 4,557.25 SqFt

Maximum Percent of Lot Which May be Covered by Buildings = 40%

Proposed Coverage: 23.78 %

Back 50% of lot = 9,904.4 ft has a maximum coverage of 50%
Proposed coverage in back 50% of lot 2,054.57
or 22.85%



01 - GENERAL REQUIREMENTS

*CONTRACTOR REQUIREMENTS:

1. The contractor & subcontractors are to be licensed, insured, bonded and have a full knowledge, skills and proper tools to perform the required work. All work to meet or exceed minimum standards and methods of the trade organizations, manufacturers recommendations, local, state and federal laws that apply to their work.

*CODES:

2. Contractor shall comply with the International Residential Code, all local building codes, and any regulations and/or laws of authorities having jurisdiction for the project.

3. It is the contractor's responsibility to insure that installation methods conform to all building code requirements. The materials and design are intended to meet code requirements. Any known discrepancy between the construction documents and code requirements shall be brought to the attention of the Designer immediately by the contractor prior to proceeding with the specified work.

*CONSTRUCTION DOCUMENTS AND COORDINATION OF WORK:

1. Contractor shall field verify all dimensions and notify designer of any discrepancies between the drawings and field dimensions before proceeding.
2. Written dimensions shall take precedence over scaled dimensions.
3. All plan dimensions are to the face of studs, unless noted otherwise.
4. All substitutions and revisions shall be discussed with designer's office prior to purchase and installation.
5. The contractor shall be responsible for verifying the size and location of all electrical and mechanical equipment and/or rough in dimensions with the appropriate equipment manufacturer.
6. The Contractor shall be responsible for damage to equipment before, during, and after installation from project commencement until project completion or owner turnover.
7. Access panels shall be provided for electrical, plumbing and air condition controls as required.
8. All issues of current records of construction documents are to be maintained in an orderly manner as jobsite. Construction drawings are to be collated so all current drawings are up to date and in correct sequence. These documents are to be accessible to the designer, engineer and owner.
9. The Contractor shall provide smoke detectors on each floor of the house and in each sleeping room. Coordinate location with owner and designer.
10. All interior finishes, materials, finish plumbing fixtures & finish door hardware shall be selected and approved by the owner/designer.
11. Abbreviations throughout the plans are common use. Notify the designer of any abbreviations in question.
12. Contractor shall coordinate the installation of the various trade items within the space of above all ceilings (including but not limited to: structural members, mechanical ducts and insulation, conduits, raceways, light fixtures, ceiling systems, and any special structural supports required) and shall be responsible for maintaining the finish ceiling height above the finish floor indicated in the drawings and the finish schedule.
13. The specifications and all consultant drawings are supplemental to the construction drawings. It shall be the responsibility of the Contractor to coordinate with the construction drawings before the installation of any of the consultant's work and to bring such items to the designer's attention for clarification. Improperly installed work shall be corrected by the Contractor at his expense and at his expense to the designer, his consultants, or the owner.
14. Contractor and subcontractors shall be responsible for obtaining and paying for all permits and fees required, not normally covered by the building permits.
15. The Contractor shall provide a staging and material storage area adjacent to the area of construction. Do not store any materials, equipment or park vehicles under the drip lines of trees. Coordinate location with owner & owner's architect and/or landscape architect.
16. The contractor shall make necessary connections to existing utilities for temporary power and water supplies, and shall coordinate such work with the Owner.
17. Contractor shall record locations of all existing and new utility lines, mains and meters on a site plan and give to the owner or owners rep at project completion.
18. Contractor shall provide temporary toilet facilities on site for workers. Contractor shall keep site clean and hazard free at all times. All equipment and construction material to be properly stored, protected, and neatly organized.
19. Contractor to provide temporary barricades and dust-proof partitions as needed. All existing wood floors, the floors and other surfaces to be protected with tar board or equivalent.
20. Contractor shall demolish existing construction as necessary to install new work and to remove all debris and material. Contractor to coordinate with owner all demolished items, such as existing doors, windows, etc., for possible storage and relocated use by owner.
21. Contractor shall be responsible for supervising all trade related work required to complete the project scope of work as shown in the construction documents.

*SHOP DRAWINGS, SUBMITTALS AND MOCKUPS:

1. Shop drawings are required for all millwork and custom made items, including but not limited to: cabinetry work, doors, windows, metal work, stairs, railings, elevator & cab, skylights, stone detailing, and mantels. If there is any question regarding a specific item, contact designer for direction.
2. When shop drawings or other submittals are required, the contractor shall submit a minimum of two (2) prints, cut sheets or physical samples to the architect for review prior to fabrication or material is ordered. One copy or sample will be retained by designer and all remaining copies returned to contractor marked, approved, approved as noted or rejected resubmit.
3. Contractor to submit manufacturers' specification (MS) for paintings, stains, sealants, waterproofing, tile, grout, finish hardware, roofing, sheet metal, gutters, downspouts, along with any other MS requested by the owner or designer for review.
4. Contractor to submit 2" - 4" x 8" samples of natural, stained or painted wood finished surfaces, 12" x 12" samples of roofing, plaster, stucco and other material requested by owner or designer for review.

5. Contractor to submit mockups of eave cornices, moldings, wooden paneling and typical cabinet doors. Mockups should indicate appearance and material relationships for owner/designer approval.

*FINAL CLEANING:

1. Employ experienced professional cleaners for final cleaning.
2. Remove grease, dust, dirt, stains, labels, fingerprints, and other foreign materials.
3. Wash and clean all glazing and mirrors.
4. Repair, patch and touch-up masonry surfaces to specified finish, to match adjacent surfaces.
5. Thorough clean and wash exterior paved surfaces, rake clean other surfaces of grounds.
6. Replace filters and clean ducts, blower & coils if air conditioning or ventilation systems were operating during construction.
7. All fixtures, equipment, flooring, floors, etc., shall be left clean and ready for occupancy.
8. All debris to be removed from site, under floor areas and crawl spaces.

02 - SITE WORK

1. Prior to beginning any site work, the contractor shall walk and coordinate site work with the owner, architect and Landscape Architect, marking all plantings & trees to remain after construction is complete.
2. Contractor shall protect existing trees to remain, place 4" high orange vinyl construction fence or other approved barrier around tree drip lines and cover protective area with a 2" layer of wood chip mulch. No parking of vehicles or equipment is allowed within or around trees. All trenching & digging close to tree root systems shall be performed by hand and under the advisement of an Arborist. Any pruning of trees should be limited to removal of dead wood and for needed construction work as approved by the Arborist.
3. Irrigation: Water & power shall be maintained to the irrigation system during construction. Coordinate with owner, owner's landscape contractor can adjust irrigation system as needed. If water or power is interrupted during construction, the contractor shall notify the owner immediately. If owner is not notified and plantings are lost due to interruption of water or power, the replacement of plantings will be the contractor's responsibility.
4. Refer to construction documents for demolition or any required excavation. Notify engineer and designer of any unstable or questionable soil or geological conditions encountered during excavation.
5. Where interior crawl space or basement floor slab is below exterior grade, contractor shall provide drainage at footing perimeter and a self-adhesive sheet butylthane membrane with a vertical drainage mat on exterior surface of foundation. Use of PVC schedule 40 pipe with 40' unvented pipe to extend below floor line and connected to storm drainage system. Pipe to be surrounded with 2 feet of 1/2" washed gravel and filtration fabric. Where required install sump pump(s) to remove below grade water.
6. Where existing concrete slab areas are to remain, the removed areas shall be saw-cut with no over cutting allowed.
7. Contractor shall remove all excavated or excess soil, debris and materials not required by construction. Verify with owner & designer any items or materials to be removed for reuse or storage prior to site demolition.
8. Contractor to provide adequate protection from construction activities including water runoff and dust control.

03 - CONCRETE

1. Prior to forming and pouring concrete, contractor shall stake out all foundation and perimeter wall locations and elevations. Verify setbacks and any clearances required by code.
2. Refer to structural drawings for specific concrete size, reinforcement and specifications. Coordinate all concrete work with construction drawings.
3. Unless noted otherwise on structural drawings, all concrete floor slabs shall be poured over a vapor membrane set on 2" sand bed over 4" of crushed gravel on natural or compacted soil. For slabs poured below exterior grade the crushed gravel bed shall be drained to the storm drain system or other approved method.
4. Unless noted otherwise, for any pipe or other subsurface penetration through a footing, leave a minimum of 1/2" and a maximum space of 1" around the pipe or other object. Fill this space with a backer rod covered with a high quality flexible sealant that is compatible with concrete and high moisture content. Wrap all pipes with a band breaker or provide a sleeve.
5. Concrete shall be poured no sooner than 20 minutes and no later than 1 1/2 hours of mixing.
6. Slope the surface of garage slabs toward garage doors at a minimum of 3" in a horizontal distance of 10'.
7. Pour the driveway slab 1/2" lower than the garage slab. A concrete driveway shall never be higher than the interior portion of the garage slab that it abuts.
8. Install control joints between separate pours.
9. Unless otherwise noted on drawings all exterior floorwork shall slope toward drainage, 1/4" vertically per 1 ft. horizontally.

04 - MASONRY

1. This section includes: concrete block, brick, stone work, mortar and grout.
2. See structural and construction drawings for masonry notes.
3. All masonry units shall be stored on the jobsite so that they are protected from weather, stored off ground, and free of physical damage.
4. Store mortar & grout mix in manufacturer's original, unopened, undamaged containers with identification labels intact, covered and protected from weather.
5. Allow at least 3 days to cure before backfilling foundation at crawlspaces and 5 days at basement walls.
6. Prior to laying masonry, remove laitance, loose aggregate, and any other material that would prevent mortar from bonding to the foundation.
7. Cut units as required to fit use mortar-driven masonry unit. Install cut units with cut surfaces concealed as much as possible. Select and arrange units for exposed masonry to produce a uniform blend of colors and textures. Mix units from several pallets as they are placed.
8. Mortar bed required under all stone and tile installed flooring.
9. All masonry shall be laid true, level, plumb and in accordance to the Masonry Institute of America (MIA) guidelines for accepted standard practices.

MASONRY, continued:

10. Masonry foundation wall courses and the tops of masonry walls shall be level to within 1/4" in a horizontal distance of 20 ft.
11. Masonry fireplace construction:
 - (1) Unless noted otherwise, all firebricks drawn are Conventional or Runford masonry or modular layout.
 - (2) Provide that all fireplaces can be used as gas or wood burning.
 - (3) All hearths are to be installed flush with the finish floor, unless noted otherwise. Initially, all firebricks should be constructed to be flush with the finish gypsum board wall. It is recommended that firebrick and firebox extensions not be installed until masonry is on site or measured by the mason.
 - (4) Contractor should expect that masonry will need to return to extend the firebox into the room to accommodate custom made or antique mantels.
 - (5) The firebox shall be constructed of split firebrick (9" x 4-1/2" x 1-1/4") and laid in a herringbone pattern, unless noted otherwise on the architectural drawings.
 - (6) All wood beams, joist, studs and other combustible material shall have a min. clearance of 2" from the front and sides of masonry fireplace and not less than 4" from the back. All fireplace construction shall comply with the International Residential Code and all local building codes. Contractor to verify code requirements.

05 - METAL

1. This section includes: Ornamental metal, metal handrail/guardrail and misc. metal.
2. See structural drawings for structural steel, metal decking and steel reinforcing.
3. Unless noted otherwise all structural steel to be shop primed: Red oxide.
4. Contractor to submit samples & shop drawings for all ornamental metal, hand & guardrails and any decorative metal for designers approval.

06 - WOOD

1. This section includes: all framing, cabinetry, interior and exterior finish woodwork & trim, wood floors, wood ceilings, face wood beams, wood shingles, wood siding, wood trellis, and wood restoration.
2. See structural drawings for additional framing information and specifications.
3. Subfloor to be 1-1/2" Sturdy-I floor plywood, unless noted otherwise or unless matching an existing condition. Subfloor to receive a water repellent coating to protect exposed floor during construction.
4. Exterior sheathing to be 1/2" plywood and roof sheathing to be 5/8" plywood unless noted otherwise. Any substitution shall be approved by architect and engineer.
5. Drop floor framing as required to allow for mud setting bed in areas to receive tile flooring.
6. Layout joist & wall studs so as not to conflict with electrical rough-in for lighting fixtures.
7. Space all exterior wall and roof sheathing panels a minimum of 1/8" apart; do not butt joint.
8. Joists and rafters shall be #2 Southern yellow pine or #2 Douglas fir or better unless noted otherwise on structural drawings.
9. Framing studs shall be minimum grade Douglas Fir. All timbers, posts, built-up beams and columns shall be minimum #2 Douglas Fir unless noted otherwise on structural drawings.
10. All all plates on concrete foundations or slabs shall be pressure treated and have a moisture barrier applied between the plate and concrete to prevent moisture transfer to wood.
11. Contractor to provide adequate protection of all exposed wood beams, flooring, decking, framing or other members whether new or existing during construction from moisture and weather damage. It is the contractor's responsibility to use the best practices to guarantee that building materials and all other susceptible material for the project are free of mold and of good quality.
12. Contractor shall double floor joist and TJI's under all bats, showers, starter steps of stairs and 2x4 stud walls parallel to floor joist. Triple joist under 2x6 stud walls parallel to floor joist.
13. The contractor shall provide and install all necessary backing, blocking, framing, hangers, or other support for all fixtures, equipment, cabinetry, furnishings and all other items requiring the same.
14. Gaves shall be level within +/- 1/4" of level in a horizontal distance of 8 ft. length.
15. Fascias shall not bow out of plane by more than 1/4", inward or outward.
16. Horizontal fascias shall be within 1/4" of level in a horizontal distance of 8 ft. length. Sloping fascia shall likewise be within 1/4" of the slope of the roof within a distance along the slope of 8 ft. of length.
17. Roof sheathing shall have a maximum deviation from plane of 1/4" (up or down) per 2 ft. of length.
18. Roof ridge deflection shall not exceed 2" per 16 ft. Length.
19. Sub floors shall not have any point that is 3/8" higher or lower than any other point on the same surface within 16 ft. in any direction.
20. Sub floors shall not have ridges or depressions that are more than 1/4" in 32" x 32" area.
21. Individual studs shall not bow in or out more than 1/4" in a 32" measurement, either horizontal or vertical.
22. No stud shall require more than 3 fir strip joints to achieve proper alignment. If more are required, replace the stud.
23. Frame walls shall be plumb within 1/4" in a height of 8 ft. and shall not bow horizontally or vertically more than 1/4" in a distance of 32".
24. Treads and risers within any one run of stairs shall not have a variation in dimensions in excess of 1/8" (verify local code).
25. Contractor to provide access to all attic areas, crawl spaces and plumbing chases.
26. Contractor to coordinate all framing with other trades (electrical, mechanical & plumbing) to avoid conflicts and changes in framing.

07 - THERMAL/MOISTURE PROTECTION

1. Insulate metal flashing in conformance to the plans and to standard industry practices.
2. For chimneys more than 3 ft. Wide and perpendicular to the roof slope, place a 26 gage galvanized iron chimney saddle to deflect water to the sides.
3. Contractor to use 26 gage galvanized iron "W" at all roof valleys.
4. Standing seam metal roof to be installed per manufacturers specifications and per building code requirements.
5. Slate shingles to be hand nailed, pneumatic installation must be approved by designer and owner prior to construction.
6. Composition Shingle Roofing to be (Class A) fire resistant, 30 year manufacturer warranty.
7. felt paper should be installed over the entire roof as soon as the roof sheathing is complete. Felt paper shall be continuous and lap a minimum of 2" horizontally (top lap) and 4" at any side lap (perpendicular or otherwise). Felt paper shall lap 6" at hips and ridges. Unless otherwise specified, roofing felt shall be 30# weight, no repairs will be approved.
8. Apply caulking at all roof flashings. Use only caulk approved by the roofing material manufacturer for the specific application. Caulk shall be free of any voids, cracks, or splits.
9. Seal all jacks, vents, wires, or cable penetrations with mastic approved for roof use.
10. Where visible from a sloped roof, paint the sheet metal vents to match the color of the roof.
11. Insulate moisture resistant barrier on all walls (Tyvek, Zip system or other approved by designer). Do not break barrier at masts or outside corners. All seams and openings to be tape sealed.
12. All construction to comply with current city energy & water conservation code requirements. Contractor to verify local codes.
13. Thermal insulation:
 - (1) Ceiling with attic: R-38
 - (2) Ceiling without attic: R-30
 - (3) Exterior: 2x4 wall: R-13
 - (4) Exterior: 2x6 wall: R-21
 - (5) Crawl space floor: R-19
14. Access hatches and doors from unconditioned to conditioned spaces shall be weather stripped and insulated to a level equivalent to insulated surrounding surfaces. Provide wood retainer or equivalent baffle for loose fill attic insulation at openings and perimeter. Do not place insulation against eaves (attic) or foundation vents. Leave 1 ft. clear space between the insulation and the vent in order to allow for proper air circulation.
15. All roof decking to have a full back radium barrier.
16. Conditions spaces adjacent to an attached garage shall have all penetrations sealed, any exterior door weather stripped and all cracks at base of wall sealed.
17. All gutters, downspouts and associated flashing to be metal. Refer to drawing elevations for type, location and color. Gutters and downspouts to be sized to effectively handle typical rainfall volume for project location. All gutters & downspout connections to be water tight and all downspouts to extend away from foundation. Gutter style to be Ogee (K-style) unless noted otherwise on construction drawings.

08 - DOORS & WINDOWS

1. Confirm manufacturer's door, window, hardware, threshold, screen and brick mold selection prior to ordering. Notify designer of any discrepancies.
2. Doors and windows to be installed weather tight.
3. Flashing at windows to be in accordance with WDMA and window manufacturer recommendations.
4. Flashing at exterior doors & thresholds to be in accordance with the WDMA, and the door manufacturer's recommendations.
5. Place head flashing under the sheet metal or other drip at the door head. Head flashing should extend across and beyond the jamb flashing by 6".
6. The contractor shall verify keying requirements of all locks with the owner.
7. The vertical and horizontal planes of doors should not vary from plane by more than 1/4". Rough openings should permit installation of doors within 1/8" of level and plumb. French door leaves should align with each other. All doors should remain in any position in which they are placed, without opening or closing themselves.

09 - FINISHES

1. Drywall all interior walls with type X 5/8" gypsum wall board unless noted otherwise. For existing plaster construction, patch plaster with compatible plaster material and finish to match existing surfaces. Bathroom walls to receive water resistant gypsum board and shower walls to receive cement backer board (see tile notes below).
2. Drywall corners in ceilings shall not exceed 1/4" per 32" distance across. Fluting and retexturing are acceptable repair methods.
3. Drywall boxes in walls shall not exceed 3/16" per 32" distance across. Fluting and retexturing are acceptable repair methods.
4. All drywall joints & interior angles shall have tape embedded in joint compound and two separate coats of joint compound applied to flat joints, and one separate coat of joint compound applied over interior angles. Fastener heads and accessories shall be covered with three separate coats of joint compound. A thin skin coat of joint compound, or a material manufactured especially for this purpose, shall be applied to the entire surface. The surface shall be smooth and free of tool marks and ridges.
5. Drywall screw or nails driven into pressure treated wood (including mulch) shall be stainless steel.
6. Tile: Contractor all ceramic, marble, granite, stone or other tile work shall be according to current standards and specifications of the Tile Council of America and Tile Institute. Verify all layouts, trim shapes, grout selections, etc., with designer and interior designer prior to ordering, and installing any material.

7. Unless noted otherwise all tile shall be installed on a wire-reinforced mortar bed over a cleavage membrane (slip sheet). Where required or noted on drawings install a waterproofing membrane and/or copper plan flashing. All that shall be washed off tile prior to application of the bond coat. Bonding coat shall cover 100% of both tile and substrate. Use gray bonding mortar with darker tiles and white bonding mortar with lighter colored tiles. Any walls or ceilings to receive tile shall have a cement backer board for the substrate (Wondobacker, Durock or equal). The use of gypsum board in any wet area is prohibited.
8. Painting contractor shall include in scope of work, preparation, priming, and finish painting of all exterior and interior walls, ceilings, doors, sills, and trim work on exposed beams, decking, cabinets and any woodwork that requires stain, paint or special finish.
9. All woodwork shall be cleaned, lightly sanded and dusted prior to painting. All woodwork shall be lightly sanded between coats.
10. Unless noted otherwise, all paint shall be Benjamin Moore or equal. All paint shall be applied per manufacturers specifications and recommendations. Coordinate all interior finishes with interior designer.
11. Prior to sealing interior plaster or gypsum walls, contractor shall verify which walls are to receive wall paper and obtain wall paper manufacturer's recommended sealer.
12. Paint stain mockups and samples (refer to Submittals & Mockups section).

10 - MECHANICAL & PLUMBING

1. The entire mechanical and plumbing systems shall be in compliance with the IRC, IMC, IPC and all applicable local codes.
2. No plumbing fixtures shall be ordered, purchased or installed without approval by owner, designer and interior designer.
3. No mechanical equipment shall be ordered, purchased or installed without approval by owner and designer.
4. Water heaters are not to be located in the attic without approval of designer and structural engineer.
5. Any mechanical/plumbing placed beneath the structure shall be constructed with flexible connections to allow anticipated movement of soil.
6. Contractor to provide water service out off as required.
7. Insulate under all hard surfaced floors located at second floor.
8. Provide proper exterior vented combustion air for all gas-fired appliances.
9. Coordinate plumbing vent stack locations with medicine cabinets.
10. Coordinate mechanical/plumbing with other trades.

11 - ELECTRICAL

1. The entire electrical system shall be installed and in compliance with the National Electric Code, International Residential Code and all applicable local codes.
2. Contractor shall provide smoke detectors on each floor and in each sleeping room. All devices to be UL-217 listed and meet provisions of NFPA-72. Coordinate locations with owner and designer.
3. Contractor shall verify the lighting fixture and electrical outlet layout with the designer before proceeding with the installation. The owner is to complete a walk-through with electrician, contractor and designer for final approval.
4. Contractor to verify clearances for all recessed fixtures and advise designer of any conflicts prior to ordering.
5. Contractor to confirm fixture trim selection, diffuser and finish options with owner, designer and interior designer.
6. All new plugs in all living areas to be Arc Fault Circuit interrupters (AFCI).
7. All exterior outlets, bathrooms, kitchens and other wet areas to be Ground Fault Circuit Interrupters (GFCI).
8. All receptacles, electrical switches, cable outlets and telephone connections to be installed at a height of 12" unless noted otherwise.
9. Wall switches to be installed at a height of 54" unless noted otherwise.
10. Contractor to coordinate electrical equipment installation with other trades.
11. Contractor to run cable and communication lines to every built-in furniture, computer or television. Coordinate requirements with owner.
12. Contractor to confirm location of all floor receptacles with interior designer.
13. Contractor to provide power for all HVAC equipment, circulating pumps, controls, security equipment, audio visual equipment, maintenance.

ALEX
ESKENASY
DESIGN

11316 Valleydale Dr. Dallas, TX 75230
alex@eskenasydesign.com
214-788-8715

Collins Residence

Gen. Requirements
& Specifications

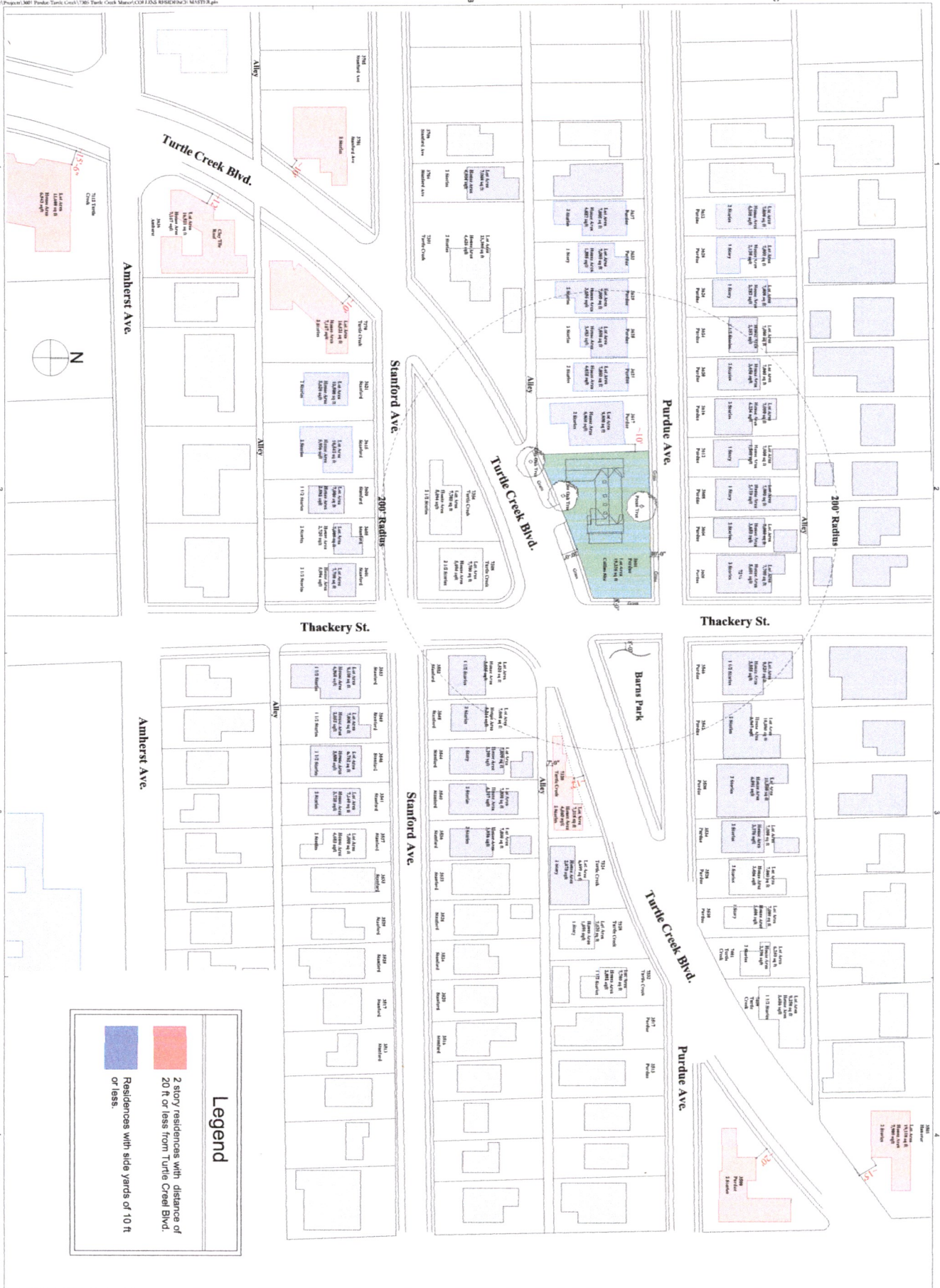
A0.02

3007 Purdon University Park, TX 75225

7312015

Sheet Title

Sheet Number



3601 Purdue University Park TX 75225	Collins Residence	ISSUE Variance Request	DATE 7/24/2015	REMARKS
A0.04	Neighborhood Study			
Street Number	Sheet Title			

ALEX
ESKENASY
DESIGN

11316 Valleydale Dr. Dallas, TX 75230
214-789-8715 alex@myhousesketch.com



3601 Purdue University Park TX 75225	Collins Residence	ISSUE	DATE	REMARKS
		Variance Request	7/24/2015	

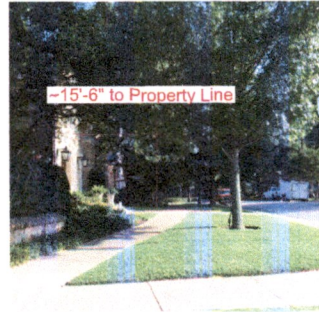
7/24/2015
A0.05
Sheet Number

3D Views
Sheet Title

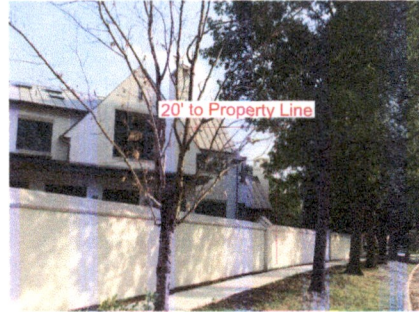
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ESKENASY
DESIGN
11316 Valleydale Dr. Dallas, TX 75230
214-789-4715 alex@myhousesketch.com



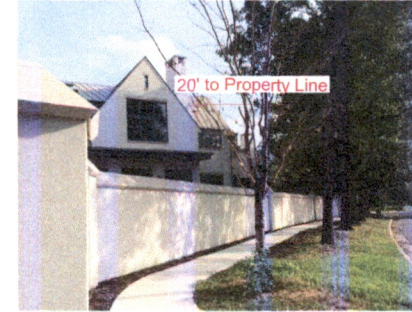
7270 Turtle Creek
~10'-0" to property line on Turtle Creek
for a plate over 12'-6" in height.



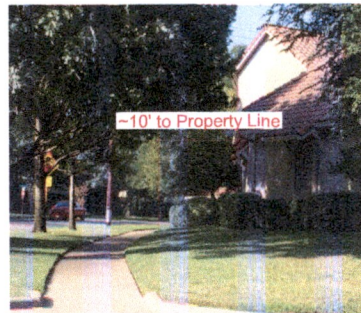
7112 Turtle Creek
~15'-6" to property line on Turtle Creek
for a plate over 12'-6" in height.



3500 Purdue
~20' to property line on Turtle Creek
for a plate over 12'-6" in height.
This is the back of property



3500 Purdue
~20' to property line on Turtle Creek
for a plate over 12'-6" in height.
This is the back of property



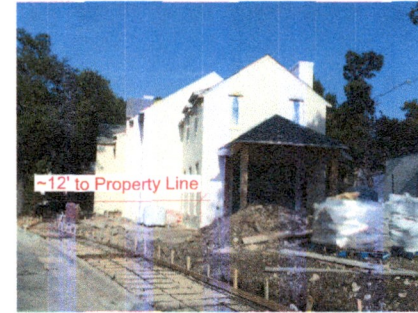
3636 Amherst
~10' to property line on Turtle Creek
for a plate over 12'-6" in height.



3701 Stanford
~10' to property line on Turtle Creek
for a plate over 12'-6" in height.



3501 Hanover
~15' to property line on Turtle Creek
for a plate over 12'-6" in height.



7320 Turtle Creek
~12' to property line on Turtle Creek Blvd.
for a plate over 12'-6" in height.



3617 Purdue
~10' to side property line
Side setback of only direct neighbor

ALEX
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DESIGN
11316 Valleydale Dr. Dallas, TX 75228
214-798-8715
alex@myhouseworks.com

ISSUE	DATE	REMARKS
Version 1	7/20/2015	
Version 2		
Version 3		
Version 4		
Version 5		
Version 6		
Version 7		
Version 8		
Version 9		
Version 10		
Version 11		
Version 12		
Version 13		
Version 14		
Version 15		
Version 16		
Version 17		
Version 18		
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Version 93		
Version 94		
Version 95		
Version 96		
Version 97		
Version 98		
Version 99		
Version 100		

Collins Residence
Neighborhood
Pictures

3801 Purdue University Park TX 75225

A0.07

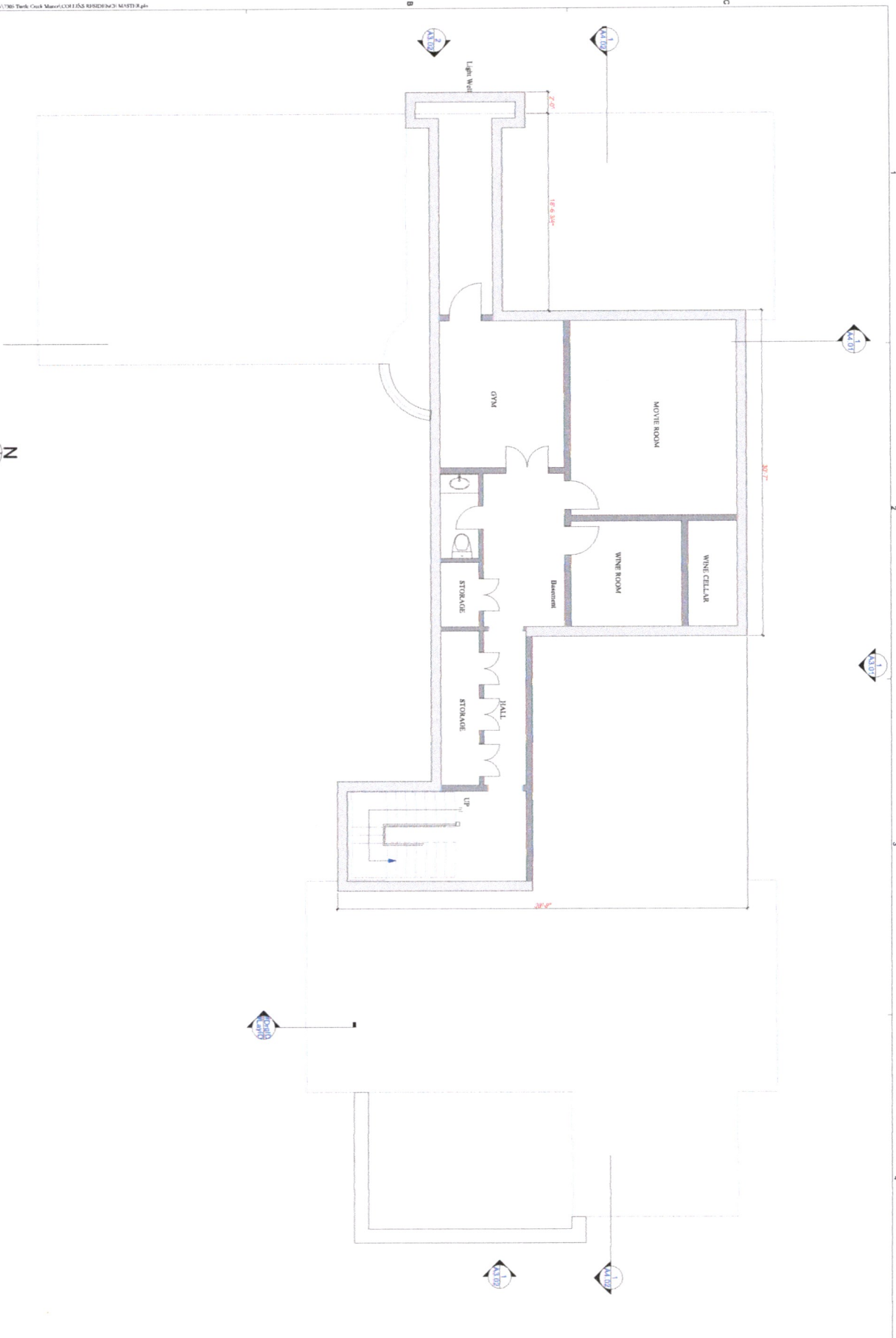
Sheet Number

7/21/2015

Sheet Title

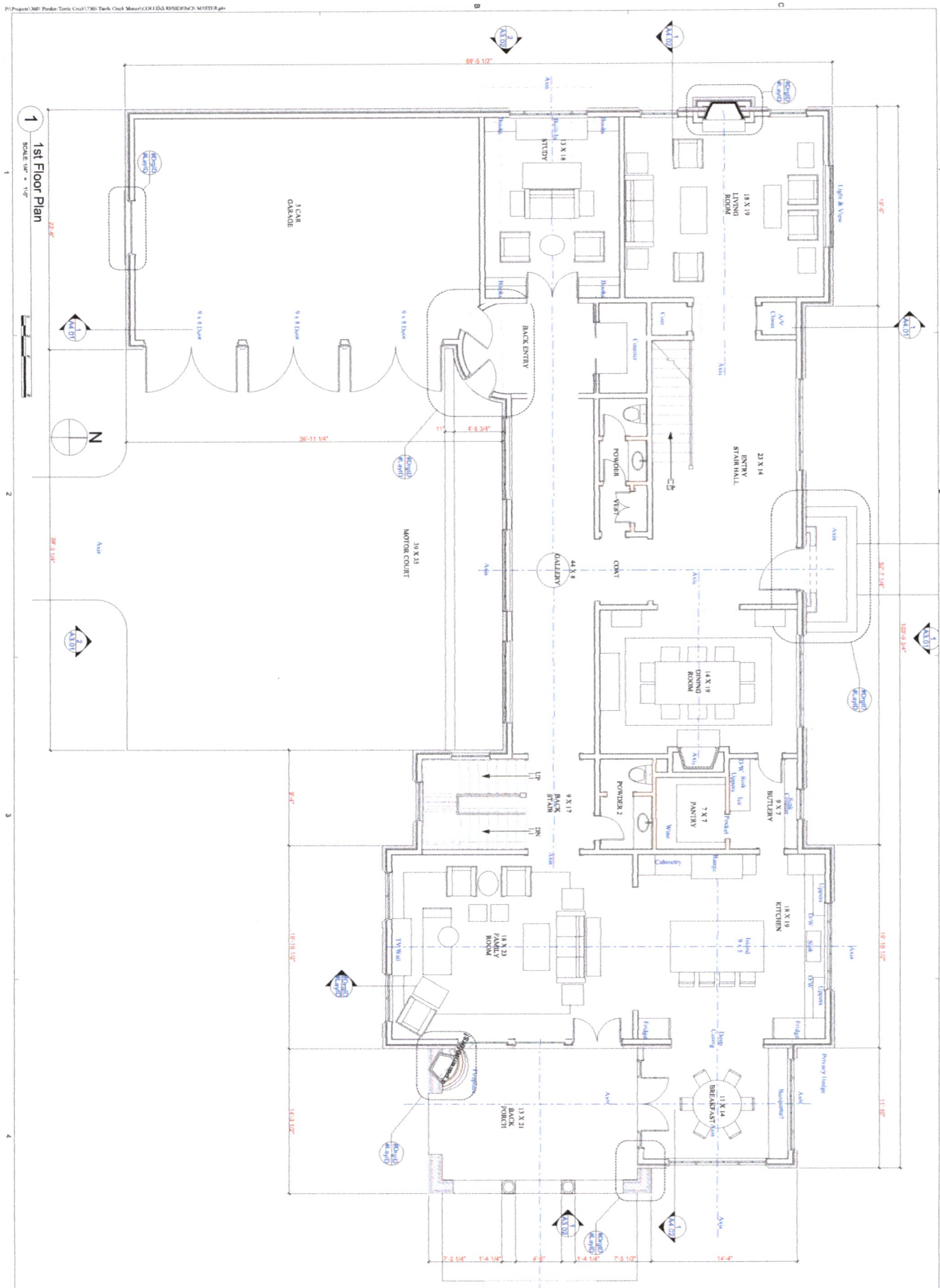
1 Foundation & Basement Plan

SCALE: 1/4" = 1'-0"



3601 Ponderosa University Park TX 75225	Collins Residence	ISSUE	DATE	REMARKS
A2.11	Basement Plan	Variance Requested	7/24/2015	
Sheet Number	Sheet Title			

**ALEX
ESKENASY
DESIGN**
11316 Valleydale Dr. Dallas, TX 75230
214-789-8715 alex@myhousesketch.com

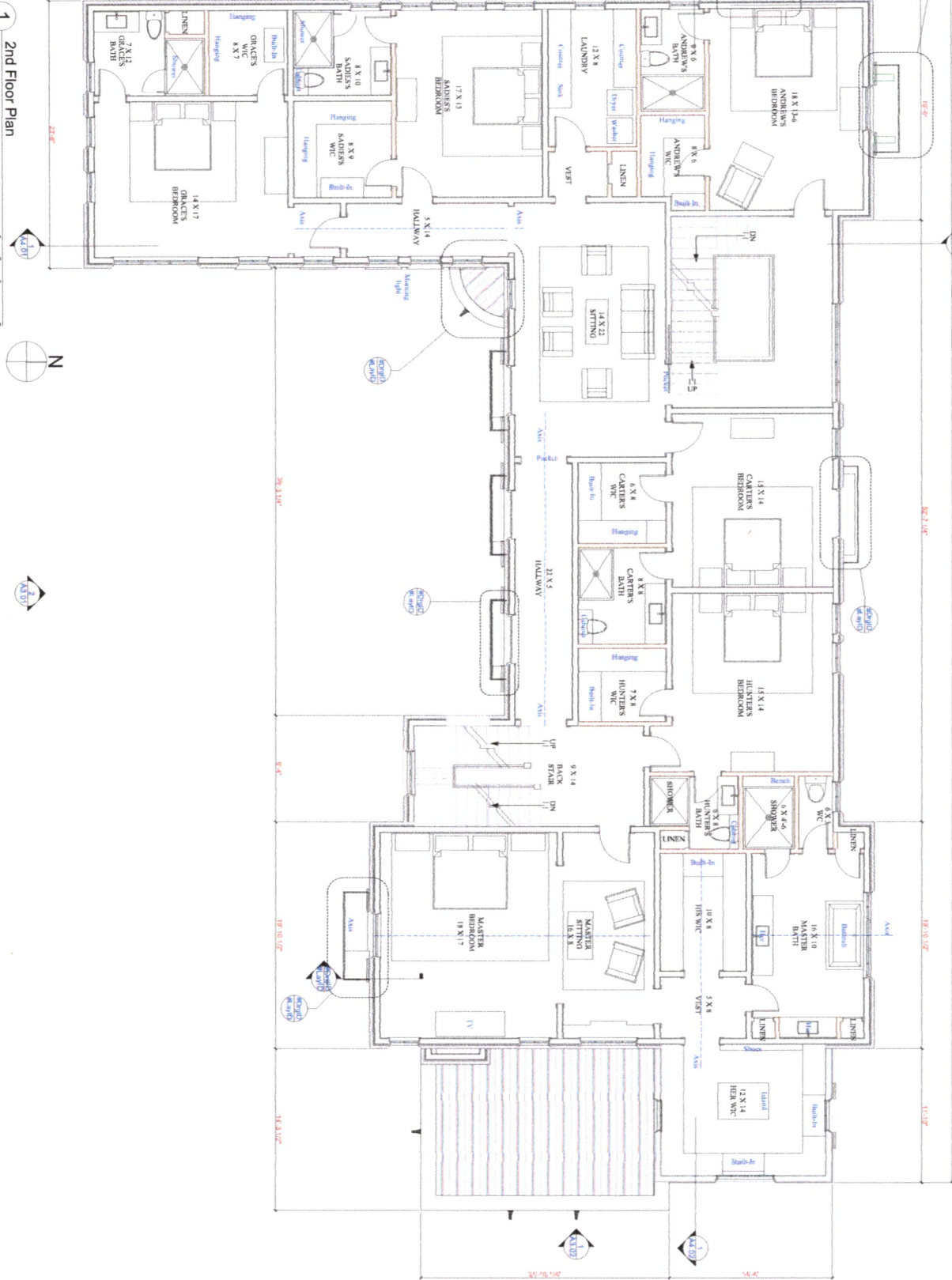


3601 Purdum University Park TX 75225		Collins Residence		ISSUE	DATE	REMARKS
				Variance Remarks	7/24/2015	
7/24/2015	A2.12	1st Floor Plan				
	Sheet Number	Sheet Title				

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214-789-8715 alex@myhousesketch.com

2nd Floor Plan

SCALE: 1/4" = 1'-0"



3601 Purdue University Park TX 75225

Collins Residence

A2.13

2nd Floor Plan

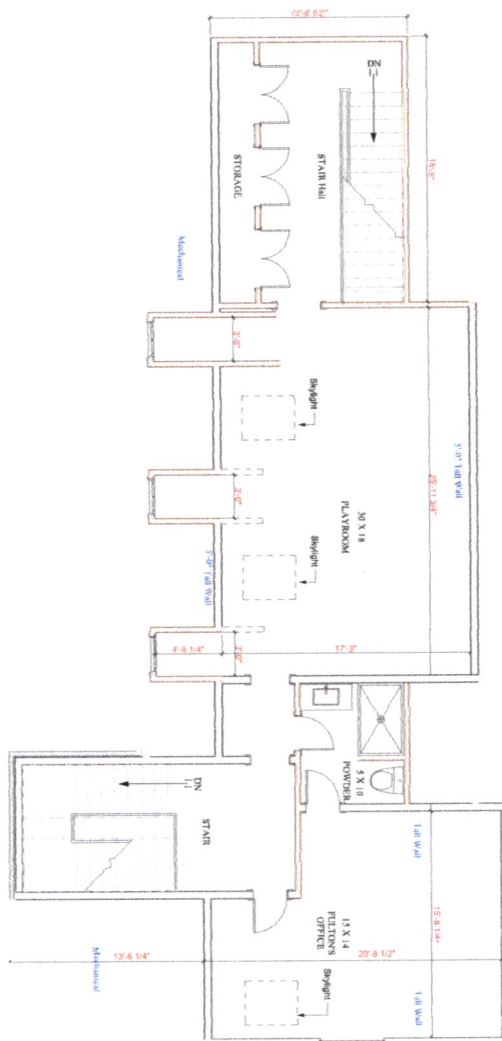
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Sheet Title

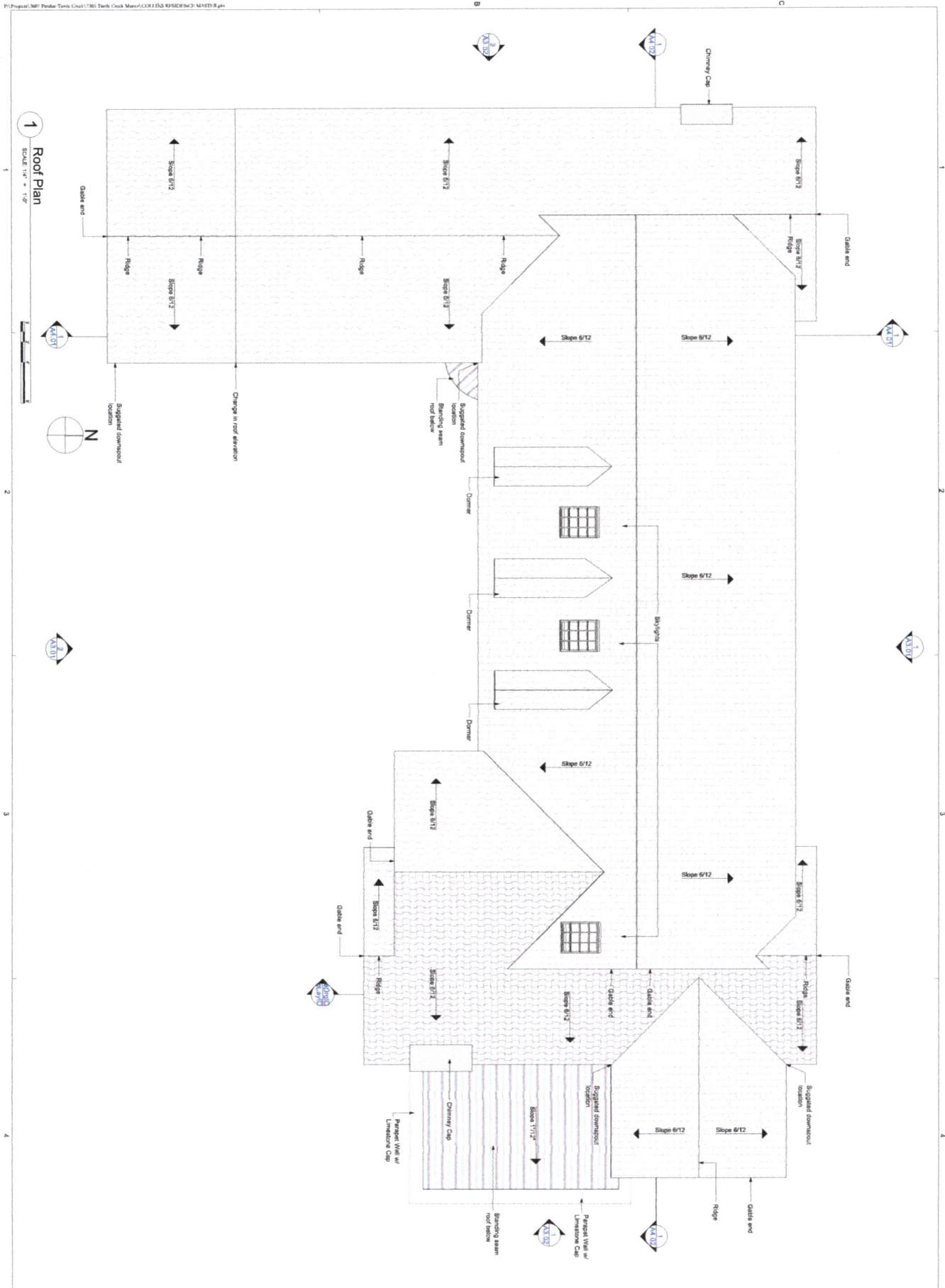
ISSUE	DATE	REMARKS
1	12/4/2015	Variances Request
2		
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ALEX
ESKENASY
DESIGN

11316 Valleydale Dr. Dallas, TX 75230
214-789-6715 alex@myhousesketch.com



ALEX
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214-789-8715 alex@myhouseketch.com



3601 Purdue University Park TX 75225	Collins Residence	ISSUE Variance Request	DATE 7/24/2015	REMARKS
A2.15	Roof Plan			
Sheet Number	Sheet Title			

**ALEX
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11316 Valleydale Dr. Dallas, TX 75230
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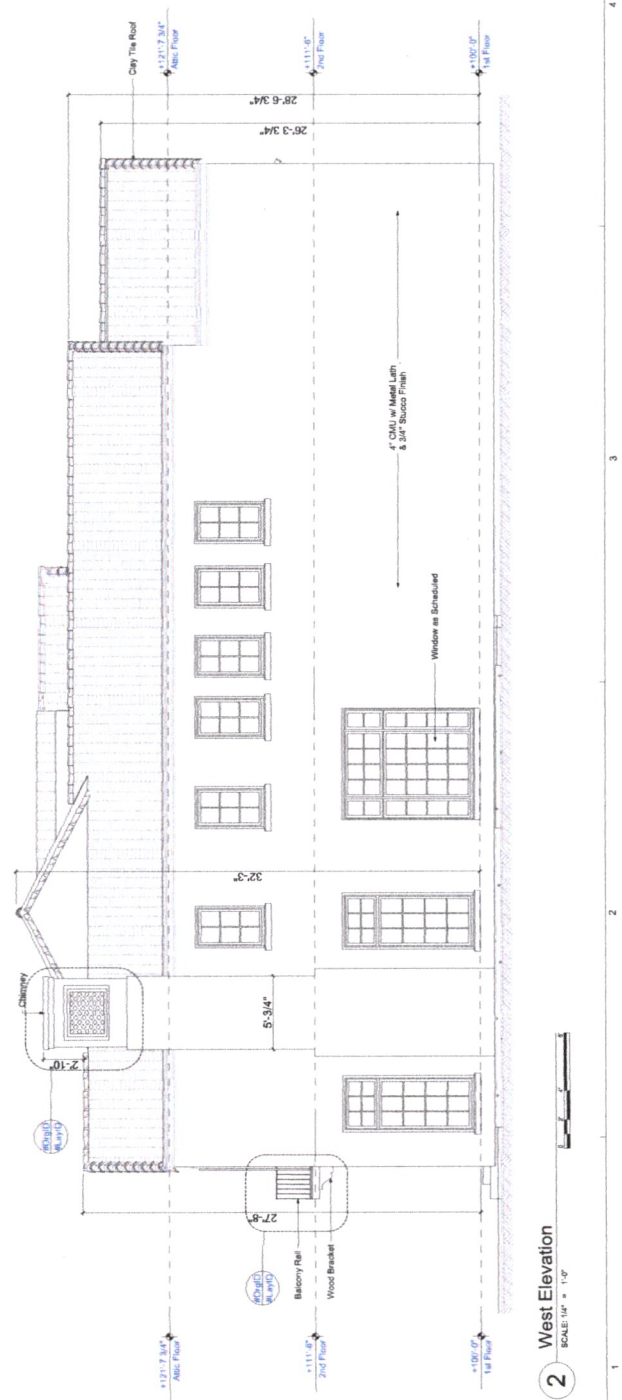
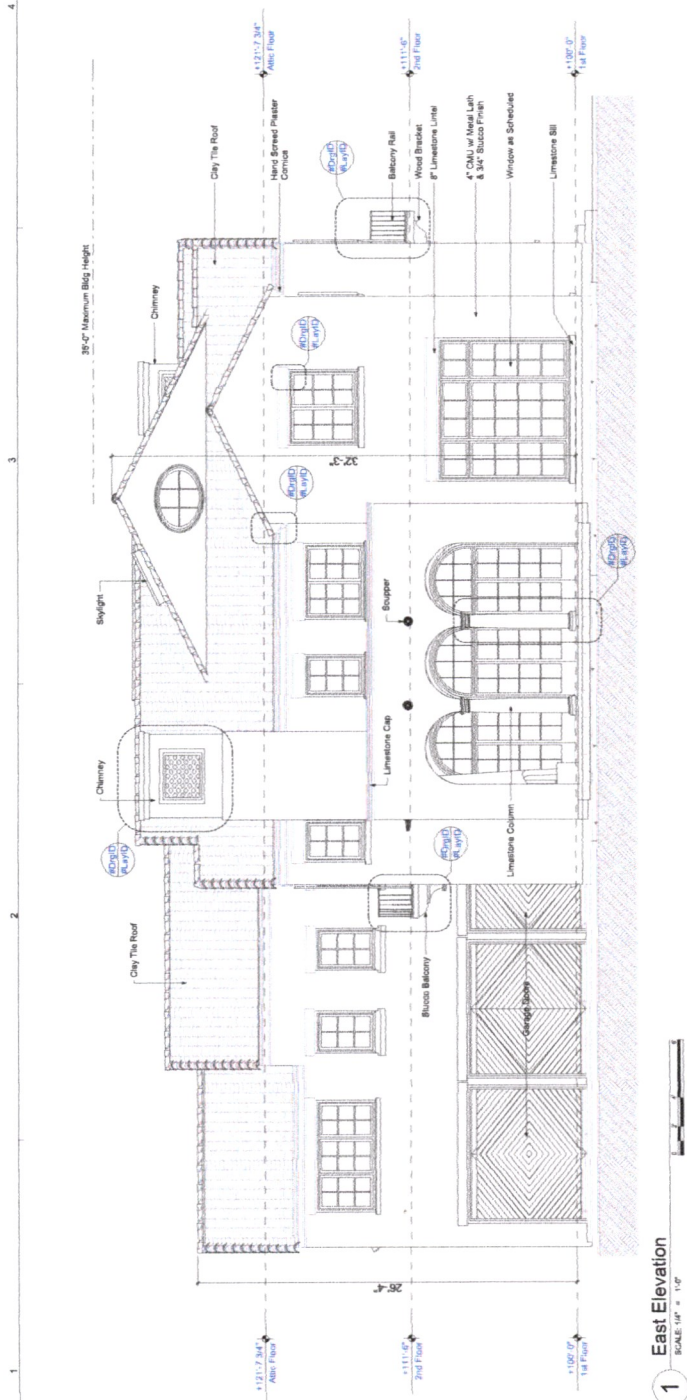
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DESIGN

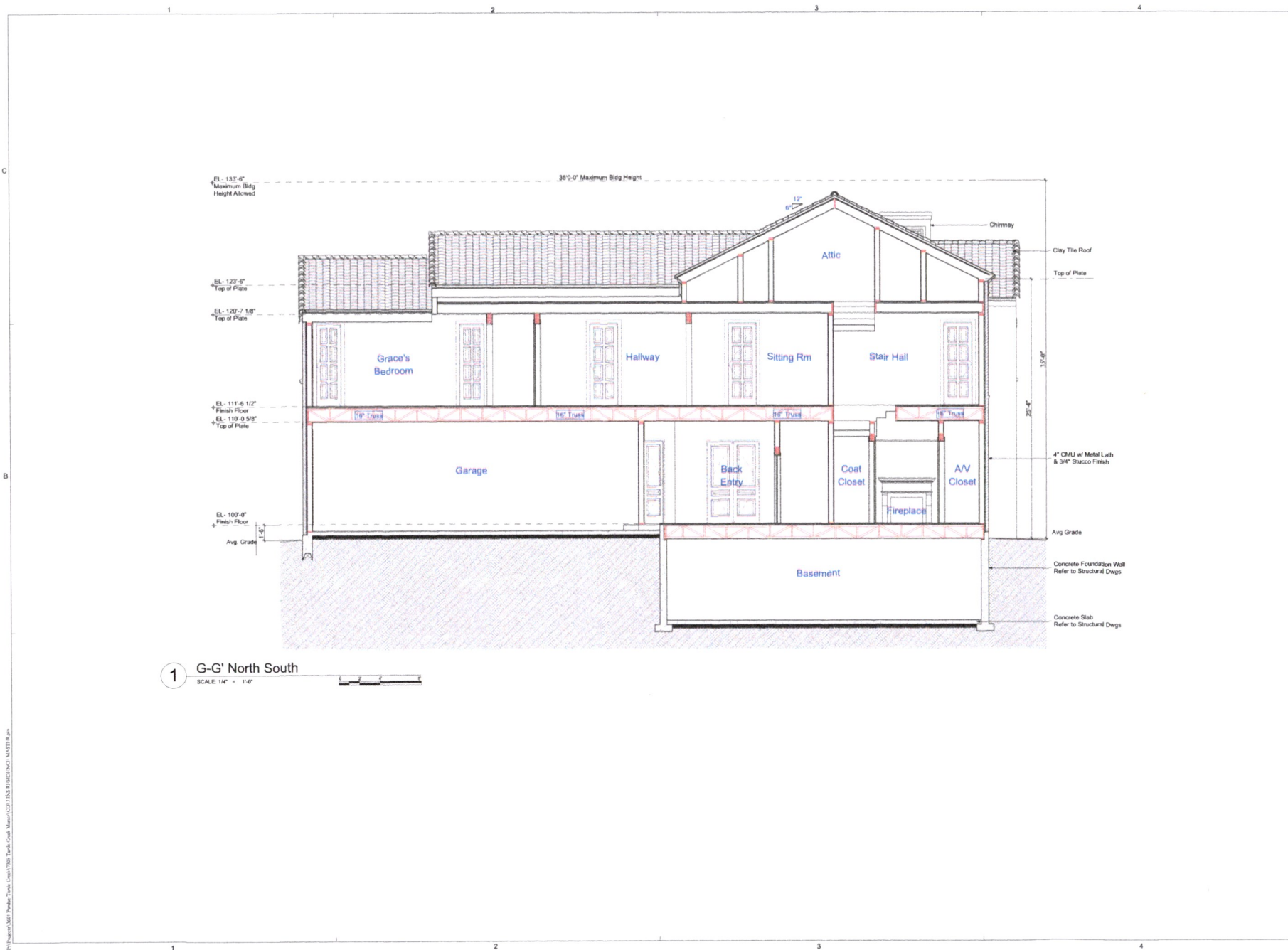
11316 Valleydale Dr. Dallas, TX 75228
214-798-8715
alex@myhouseandch.com

ISSUE	DATE	REMARKS
1	10/15/2015	Revised
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Collins Residence	North and South Elevations
3601 Purdon University Park TX 75225	A3.01
7/21/2015	Sheet Number
	Sheet Title

2001 Purdue University Park TX 75225	Sheet Number	A3.02
7/2/2015	Project Title	Collins Residence
ISSUE	DATE	REMARKS
1	7/2/2015	Initial





ALEX
ESKENASY
DESIGN

11116 Valleydale Dr. Dallas, TX 75230
214-798-9715
alex@myhouseandco.com

ISSUE	DATE	REMARKS
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Collins Residence

Building Sections

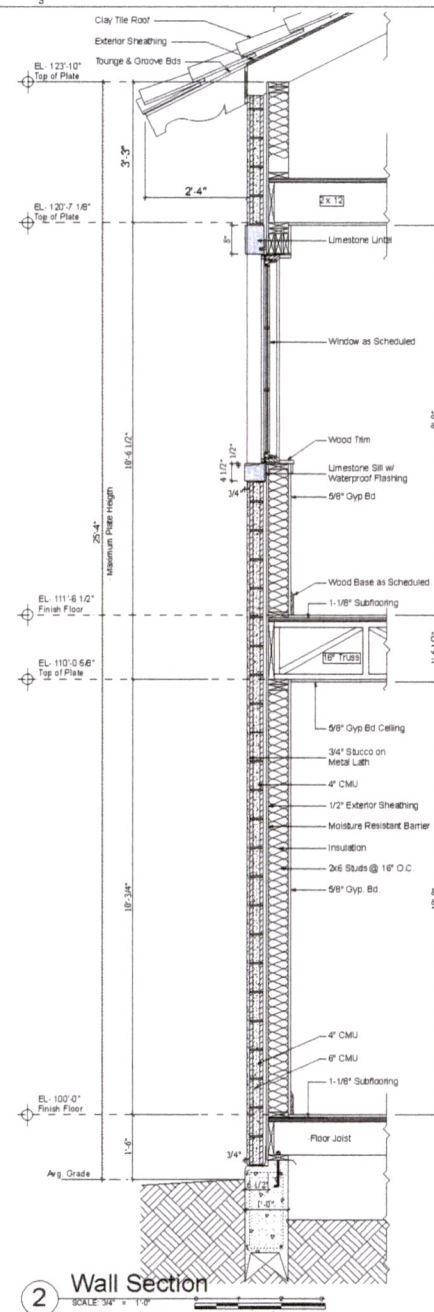
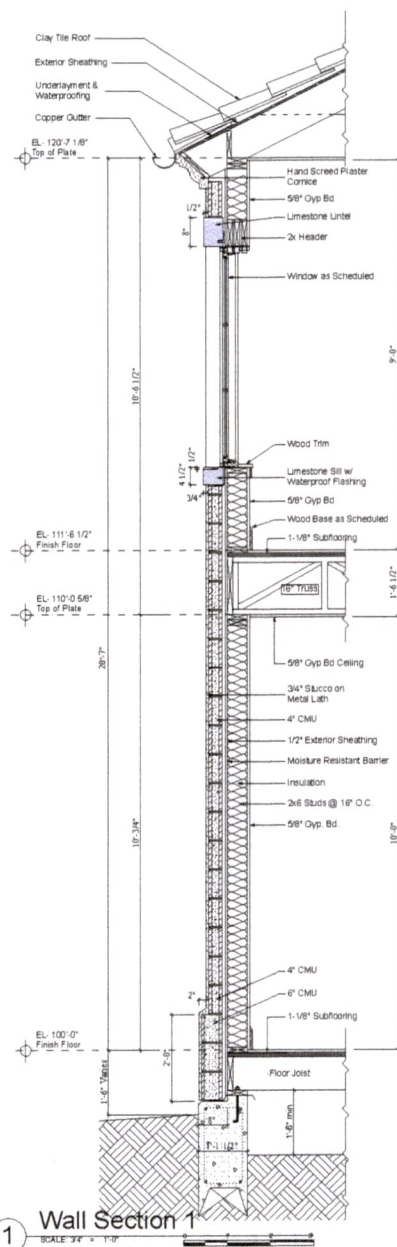
Sheet Title

2801 Purdue University Park, TX 75225

A4.01

7/21/2016

Sheet Number



ALEX
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DESIGN
11316 Valleyview Dr. Dallas, TX 75230
214-789-8715
alex@myhouseatlex.com

3601 Purdue University Park, TX 73225	Collins Residence	ISSUE Assigned Assigned Assigned	DATE Received	REMARKS
A4.10	Wall Sections			
<div> <div>8/1/2015</div> <div>Sheet Number</div> <div>Sheet Title</div> </div>				