

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF UNIVERSITY PARK, TEXAS, APPROVING ADDITION OF A TRACT OF _____ SQUARE FEET (0. ACRE) DESCRIBED AS LOTS 7-10, BLOCK 5, PRESTON HEIGHTS ADDITION AND A PORTION OF THE RIGHT-OF-WAY OF GLENWICK LANE (TO BE ABANDONED) TO PLANNED DEVELOPMENT DISTRICT 25 “PD-25”; APPROVING AN AMENDED DETAILED SITE PLAN FOR A PORTION OF PD-25 FOR THE HIGHLAND PARK HIGH SCHOOL; AUTHORIZING ADDITION OF AN INDOOR TENNIS CENTER; PROVIDING SPECIAL CONDITIONS; PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission and the City Council of the City of University Park have given the requisite notices and conducted the public hearings required by law, and the City Council is of the opinion and finds that property should be added and the Detailed Site Plan for PD-25 should be amended as requested; Now, Therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF UNIVERSITY PARK, TEXAS:

SECTION 1. That property is hereby added to the limits of Planned Development District 25 “PD-25” described as a _____ square feet (acre) tract of land described as Lots 7-10, Block 5, Preston Heights Addition, an addition to the City of University Park, according to the Plat thereof recorded in Volume 1, Page 509, of the Plat Records of Dallas County, Texas, and a portion of the street right-of-way of Glenwick Lane (to be abandoned (the “site”), and more commonly known as 4121 Glenwick Lane.

SECTION 2. That an amended Detailed Site Plan for the site, in the form required by Section 17-101 (2) of the Comprehensive Zoning Ordinance of the City of University Park, Texas, to authorize an indoor tennis center for the Highland Park Independent School District (“HPISD”), attached hereto as Exhibit "A" and made a part hereof for all purposes, the same as if fully copied herein, is hereby approved in all respects.

SECTION 3. That the approval of the amended Detailed Site Plan is subject to the

following special conditions:

A. Development of the site shall be in accordance with the approved amended Detailed Site Plan (Exhibit “A”), all conditions of the ordinance approving PD-25 and all conditions of previous ordinances amending PD-25 or the approved detailed site plan, except as amended hereby, and all other provisions of the Comprehensive Zoning Ordinance of the City of University Park that are applicable;

B. The indoor tennis center on the site shall be constructed and placed in accordance with the amended detailed site plan.

C. The height of the indoor center shall not exceed 44’6” at any point.

D. A South setback of 4’7” shall be observed from the abutting alley easement, and an East setback of 35’ 4” from the East property line shall be observed, allowing for installation, during construction, of a storm sewer and a fire lane on the East side of the indoor tennis center.

E. The number of student parking spaces available in the adjacent parking garage will be reduced by six spaces and those spaces dedicated for use by persons using the indoor tennis center.

F. A construction fence around the site will be required during construction, beginning with demolition of existing improvements.

G. A full-time point of contact will be provided by the HPISD to answer questions and complaints during construction.

H. All construction vehicles shall be required to park on-site during construction.

I. HPISD and its contractors shall observe construction hours of 7:00 a. m. to 6:00 p. m., Monday-Saturday, and as limited by the University Park Code of Ordinances.

J. All workers on site during construction must submit to background checks as part of the contractors' responsibility.

K. Debris, excavation spoils, and construction materials haul and delivery routes must be approved in writing by the Director of Public Works or his designee.

SECTION 4. All ordinances of the City of University Park in conflict with the provisions of this ordinance are hereby repealed.

SECTION 5. Should any sentence, paragraph, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal, or invalid, the same shall not affect the validity of this ordinance as a whole, or any part or provision thereof other than the part decided to be invalid, illegal or unconstitutional.

SECTION 6. Any person, firm or corporation violating any of the provisions of this ordinance or the Comprehensive Zoning Ordinance, as amended hereby, shall be deemed guilty of a misdemeanor and, upon conviction in the municipal court of the City of University Park, Texas, shall be punished by a fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offense, and each and every day any such violation shall continue shall be deemed to constitute a separate offense.

SECTION 7. This ordinance shall take effect immediately from and after its passage and the publication of the caption, as the law and Charter in such cases provide.

DULY PASSED by the City Council of the City of University Park, Texas, on the ____ day of _____ 2017.

APPROVED:

OLIN B. LANE, MAYOR

ATTEST:

CHRISTINE GREEN, CITY SECRETARY

APPROVED AS TO FORM:

CITY ATTORNEY

(RLD/2/27/17/84150)

EXHIBIT "A"

NEW SEAY CENTER

HIGHLAND PARK I.S.D.

4121 GLENWICK LANE
DALLAS, TX 75205

10/28/2016 10:25:52 AM
**FOR REVIEW
NOT FOR
REGULATORY
APPROVAL,
PERMITTING, OR
CONSTRUCTION**

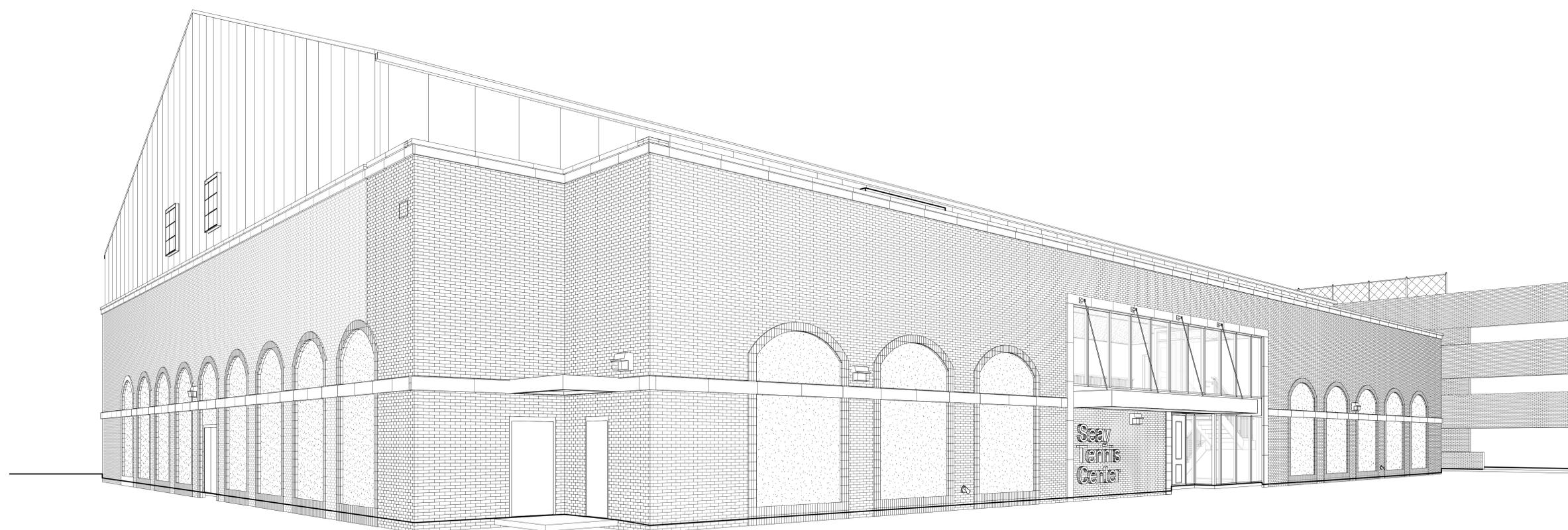
HIGHLAND PARK I.S.D.



NEW SEAY CENTER
UNIVERSITY PARK, TX

DRAWN: MDD
CHECKED: Checker
SCALE: 1/2" = 1'-0"

ISSUE: 10/28/2016 - 100% CD



Land Use Statement

The new Seay Center is to be built adjacent to the existing garage and will cross the current plat boundary for the 5.15 acre garage Plat (Lot 1RA, Block 4) in PD-25. The PD-25 is to be amended to include the 4 lots (7-10) of the new Seay Indoor Center.

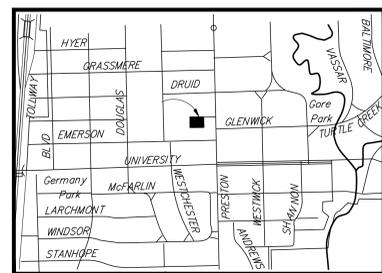
To provide for the additional parking necessary at the new Seay Center HPISD will be reducing the number of student spots in the parking garage to provide dedicated parking for the new Seay. Two new additional parking spots are being provided along the drive.

The building will be substantially modular brick masonry matching the parking garage with cast stone and plaster accents.

SHEET TITLE:
PROJECT COVER SHEET

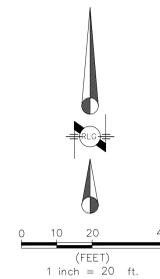
G001

Project #: 214000411



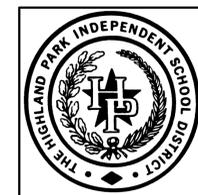
LOT 1A, BLOCK 4
PRESTON HEIGHTS ADDITION
VOL. 2003167, PG. 98

SUMMARY TABLE	
SITE AREA	25,075 SF
GFA	0 SF
FAR	0 SF
EXIST. BUILDING	0 SF
USES	STORAGE YARD



8/2/2016 4:13:39 PM
**FOR REVIEW
NOT FOR
REGULATORY
APPROVAL,
PERMITTING, OR
CONSTRUCTION**

HIGHLAND PARK I.S.D.



NEW SEAY CENTER
UNIVERSITY PARK, TX

DRAWN: Author
CHECKED: Checker
SCALE:

ISSUE: E - EXISTING DEVELOPMENT

BENCHMARKS:
BM#1 A SQUARE CUT ON THE SOUTH TOP OF CURB OF GLENWICK LANE AND 158 FEET +/- WEST OF PRESTON ROAD WEST CURB LINE. (AS SHOWN) ELEVATION = 553.36'
BM#2 A SQUARE CUT ON THE TOP OF CURB, 14 FEET +/- SOUTH OF THE CENTERLINE OF GLENWICK LANE, 13 FEET +/- EAST OF HIGHLAND PARK HIGH SCHOOL PARKING GARAGE, 428 FEET +/- WEST OF PRESTON ROAD WEST CURB LINE. ELEVATION = 553.00'

RAYMOND L. GOODSON JR., INC.
CONSULTING ENGINEERS
5445 LA BOUTEF DRIVE, SUITE 300, LB 17
DALLAS, TEXAS 75237-4158 214/739-9100
E-MAIL: rlg@rlginc.com FORM REC'D: P-482

PROGRESS SET - FOR REVIEW ONLY

Issued 11/11/16

These documents are for Design Review and not intended for Construction, Bidding or Permit Purposes. They were prepared by, or under the supervision of:

Stephen D. Schwind P.E. #108868
Raymond L. Goodson, Jr., Inc.

SHEET NO.
C0.00

EXISTING DEVELOPMENT
HPISD SEAY CENTER
INDOOR TENNIS FACILITY
STANTEC

CITY OF UNIVERSITY PARK, TEXAS

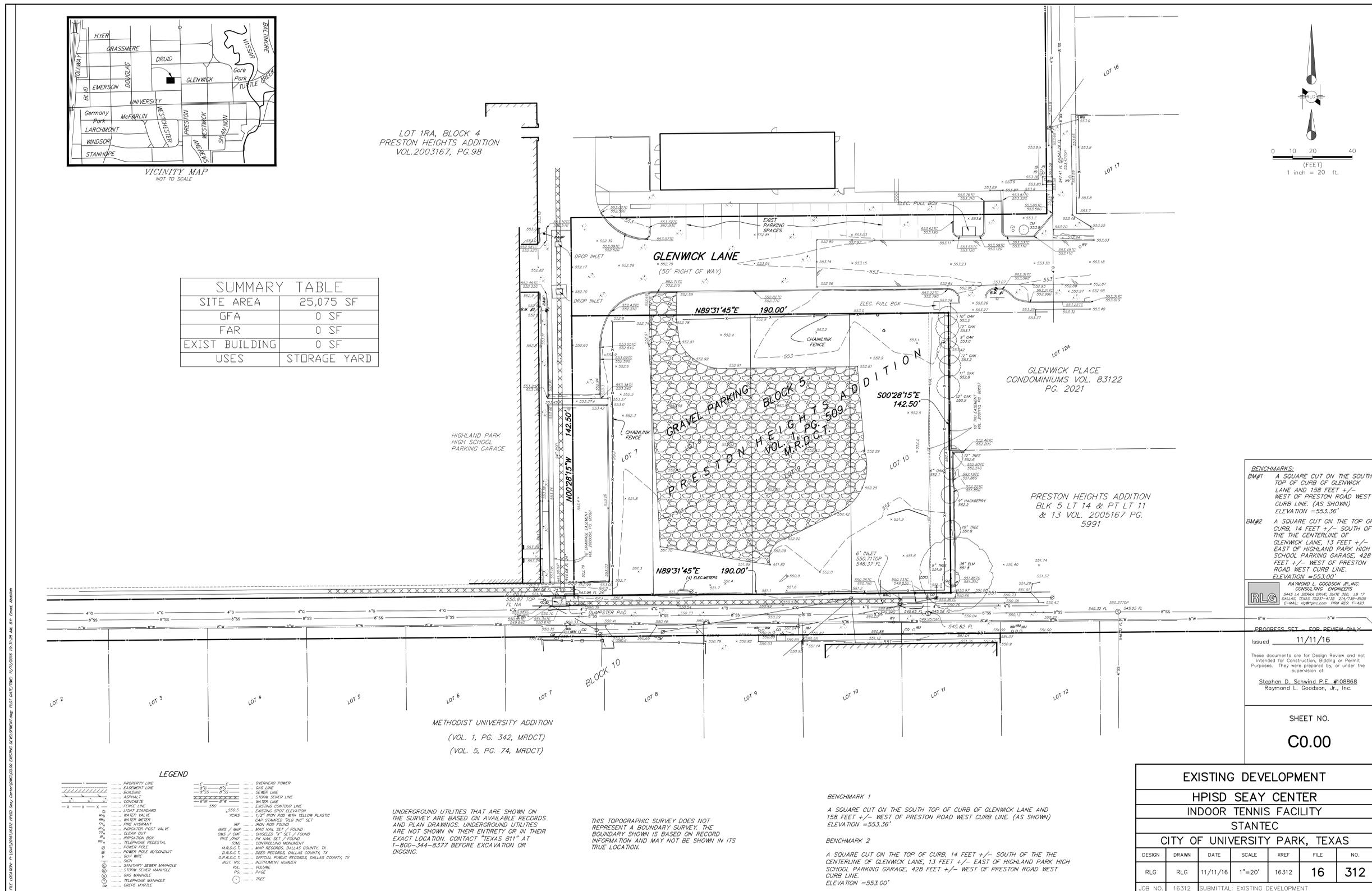
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JOB NO. 16312 SUBMITTAL: EXISTING DEVELOPMENT

SHEET TITLE:
E - EXISTING DEVELOPMENT

C0.00

Project #: 214000411



LEGEND

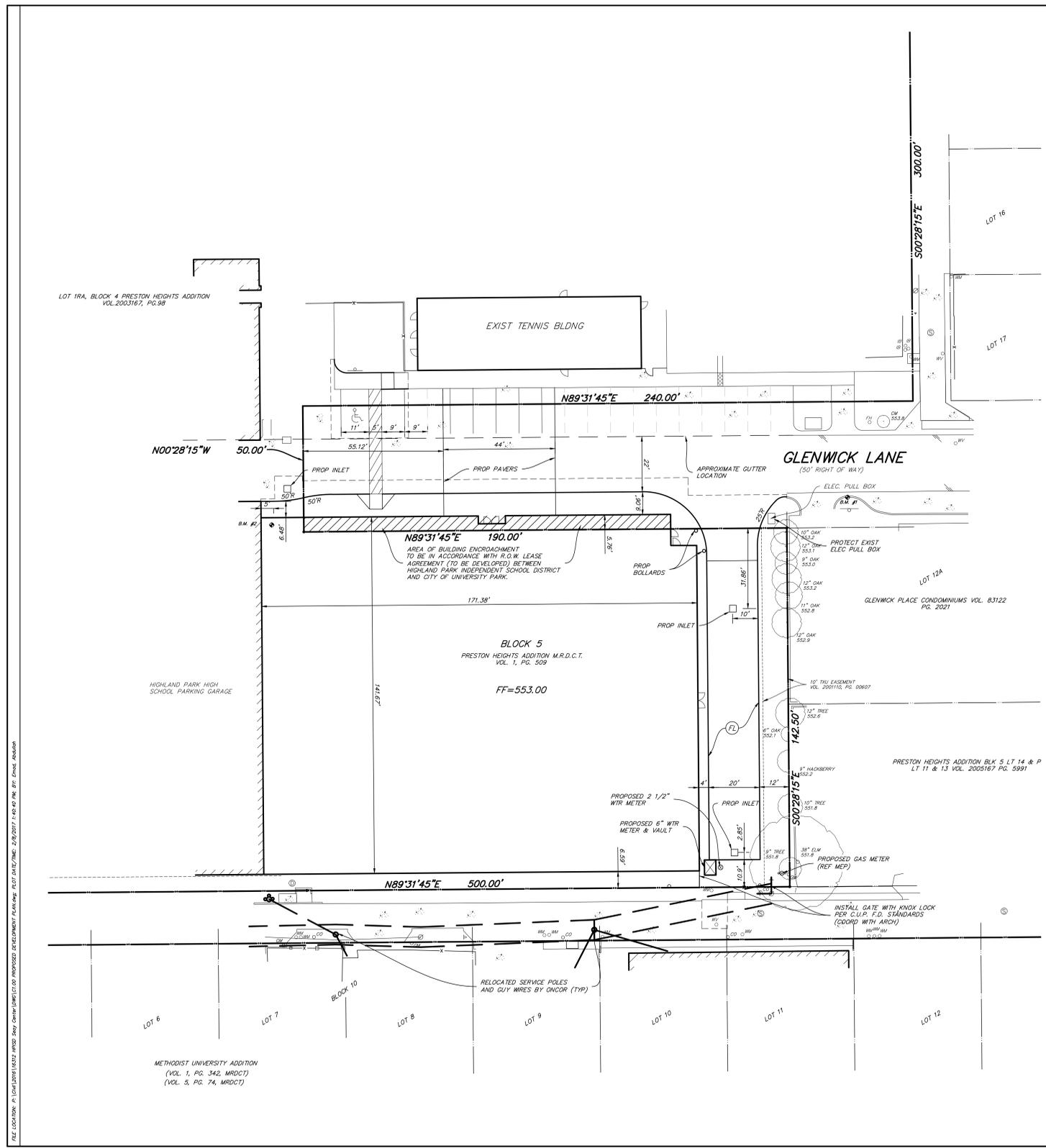
- PROPERTY LINE
- EASEMENT LINE
- BUILDING
- ASPHALT
- CONCRETE
- FENCE LINE
- LIGHT STANDARD
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- REDUCION POST VALVE
- CLEAN OUT
- IRRIGATION BOX
- TELEPHONE PEDESTAL
- POWER POLE
- POWER POLE W/CONDUIT
- SIGN
- SIGN/STREET SEWER MANHOLE
- STORM SEWER MANHOLE
- GAS MANHOLE
- TELEPHONE MANHOLE
- CREPE MYRTLE
- OVERHEAD POWER
- GAS LINE
- SEWER LINE
- STORM SEWER LINE
- WATER LINE
- EXISTING CONTOUR LINE
- EXISTING SPOT ELEVATION
- 1/2" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RIS INC" SET
- IRON ROD FOUND
- M&S MAIL SET / FOUND
- CHASED "X" SET / FOUND
- PW MAIL SET / FOUND
- CONTROLLING MONUMENT
- M.R.D.C.T.
- M&P RECORDS, DALLAS COUNTY, TX
- DEED RECORDS, DALLAS COUNTY, TX
- O.P.R.D.C.T.
- OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TX
- INSTRUMENT NUMBER
- VOL.
- PAGE
- TREE

UNDERGROUND UTILITIES THAT ARE SHOWN ON THE SURVEY ARE BASED ON AVAILABLE RECORDS AND PLAN DRAWINGS. UNDERGROUND UTILITIES ARE NOT SHOWN IN THEIR ENTIRETY OR IN THEIR EXACT LOCATION. CONTACT "TEXAS 811" AT 1-800-344-8377 BEFORE EXCAVATION OR DIGGING.

THIS TOPOGRAPHIC SURVEY DOES NOT REPRESENT A BOUNDARY SURVEY. THE BOUNDARY SHOWN IS BASED ON RECORD INFORMATION AND MAY NOT BE SHOWN IN ITS TRUE LOCATION.

BENCHMARK 1
A SQUARE CUT ON THE SOUTH TOP OF CURB OF GLENWICK LANE AND 158 FEET +/- WEST OF PRESTON ROAD WEST CURB LINE. (AS SHOWN) ELEVATION = 553.36'

BENCHMARK 2
A SQUARE CUT ON THE TOP OF CURB, 14 FEET +/- SOUTH OF THE CENTERLINE OF GLENWICK LANE, 13 FEET +/- EAST OF HIGHLAND PARK HIGH SCHOOL PARKING GARAGE, 428 FEET +/- WEST OF PRESTON ROAD WEST CURB LINE. ELEVATION = 553.00'



SITE DATA SUMMARY TABLE
ZONING: SINGLE FAMILY DWELLING - 1

SITE AREA: 291,790 SF
5.779 ACRES

GROSS FLOOR AREA (GFA): 24,113 SF

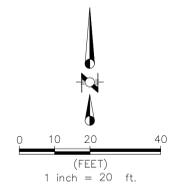
BUILDING HEIGHT: 47' 8"

USE	FLOOR AREA
WEIGHT & EXERCISE ROOMS	1432 SF
OFFICE SPACE	270 SF
RESTROOMS	432 SF
TENNIS COURTS	20,366 SF

BUILDING SETBACKS:
North Facade Encroachment: 5.76'
South Facade Setback: 6.59'

PARKING COUNT:
EXIST DEVELOPMENT: 18 SPACES
PROP DEVELOPMENT: 19 SPACES + 1 HCAP
(A REDUCTION IN STUDENT SPACES IN THE PARKING GARAGE WILL PROVIDE FOR THE NECESSARY PARKING FOR THE FACILITY)

PROP USE:
EDUCATIONAL USE - INDOOR TENNIS FACILITY FOR HIGHLAND PARK INDEPENDENT SCHOOL DISTRICT

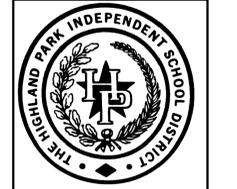


LEGEND

- PROPOSED CURB
- - - LIMITS OF PAVEMENT SAWCUT
- ⊕ PROPOSED FIRE LANE

10/27/2016 11:32:58 AM
**FOR REVIEW
NOT FOR
REGULATORY
APPROVAL,
PERMITTING, OR
CONSTRUCTION**

HIGHLAND PARK I.S.D.



**NEW SEAY CENTER
UNIVERSITY PARK, TX**

BENCHMARKS:
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RLG RAYMOND L. GOODSON JR., INC. CONSULTING ENGINEERS
5445 LA DOWNS DRIVE, SUITE 300, LB 17 DALLAS, TEXAS 75237-4128 214-739-8100
E-MAIL: rlg@rlg.com WWW.WEB: P-482

PROGRESS SET - FOR REVIEW ONLY
Issued 2/8/17

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Raymond L. Goodson, Jr., Inc.

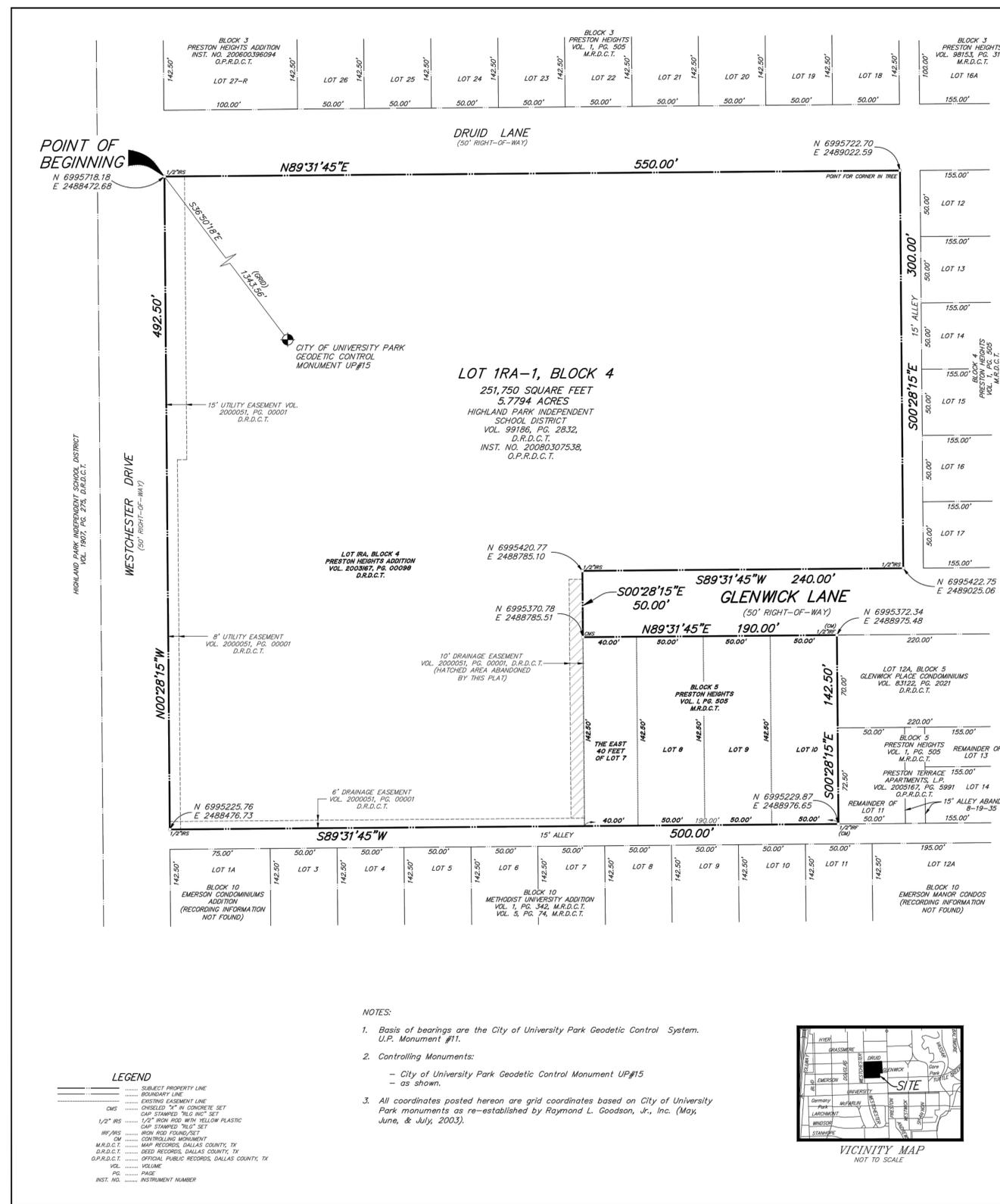
SHEET NO.
C1.00

PROPOSED DEVELOPMENT PLAN						
HPISD SEAY CENTER						
INDOOR TENNIS FACILITY						
STANTEC						
CITY OF UNIVERSITY PARK, TEXAS						
DESIGN	DRAWN	DATE	SCALE	XREF	FILE	NO.
RLG	RLG	1/27/17	1"=20'	16312	16	312
JOB NO.	SUBMITTAL: 100% CONSTRUCTION DOCUMENTS					

DRAWN: Author
CHECKED: Checker
SCALE:

ISSUE: 11/28/2016 - 100% CD

SHEET TITLE:
**PROPOSED
DEVELOPMENT
PLAN**



CERTIFICATE OF APPROVAL

I, Jessica Steele, Chief Planning Official for the City of University Park, Texas, pursuant to the authority of 212.0065 of the Texas Local Government Code and the City of University Park's Ordinance Number 07/45, dated December 4, 2007, do hereby certify that the attached plat was duly filed and approved by the City of University Park on the _____ day of _____, 2016.

Jessica Steele
Chief Planning Official

Approved as to Form:

Robert L. Dillard, III
City Attorney

SURVEYOR'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF DALLAS §

That I, Brian R. Wade, do hereby certify that I prepared this amending plat from an actual survey on the land and that the corner monuments shown thereon were found and / or properly placed under my personal supervision in accordance with the applicable codes and ordinances of the City of University Park.
PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

Brian R. Wade RPLS No. 6098

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared Brian R. Wade, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledge to me that he executed the same purposes and consideration therein express and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this _____ day of _____, 2016.

Notary Public, State of Texas

OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF DALLAS §

WHEREAS, HIGHLAND PARK INDEPENDENT SCHOOL DISTRICT is the sole owner of a tract of land situated in the S. Popplewell Survey, Abstract 1145, City of University Park, Dallas County, Texas, being all of Lot 1RA, Block 4, Preston Heights Addition, an addition to the City of University Park as recorded in Volume 2003167, Page 00098, Deed Records, Dallas County, Texas, as described in Special Warranty Deed recorded in Volume 99186, Page 2832, Deed Records, Dallas County, Texas, also being the east 40 feet of Lot 7 and all of Lots 8, 9, and 10, Block 5, Preston Heights Addition, an addition to the City of University Park as recorded in Volume 1, Page 505, Map Records, Dallas County, Texas, as described in Special Warranty Deed recorded in instrument No. 20080307538, Official Public Records, Dallas County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod with yellow plastic cap stamped "RLG" set at the intersection of the east line of Westchester Drive (a 50' right-of-way), and the south line of Druid Lane (a 50' right-of-way), for the northwest corner of said Lot 1RA, from which the University Park Geodetic Control Monument No. 15 bears South 36° 50' 18" East, a distance of 1,343.56 feet (Grid);

THENCE North 89°31'45" East, along the common line between said Lot 1RA and said Druid Lane, a distance of 550.00 feet to a point in a tree at the intersection of the south line of said Druid Lane and the west line of a 15 foot alley, for the northeast corner of said Lot 1RA;

THENCE South 00°28'15" East, along the common line between said Lot 1RA and said 15 foot alley, a distance of 300.00 feet to a 1/2" iron rod with yellow plastic cap stamped "RLG" set at the intersection of the west line of said alley and the north line of Glenwick Lane (50' right-of-way), for the most easterly southeast corner of said Lot 1RA;

THENCE South 89°31'45" West, along the common line between said Lot 1RA and said Glenwick Lane, a distance of 240.00 feet to a 1/2" iron rod with yellow plastic cap stamped "RLG" set for an interior all corner of said Lot 1RA at the northwest terminus of said Glenwick Lane;

THENCE South 00°28'15" East, along the common line between said Lot 1RA and the terminus of said Glenwick Lane, a distance of 50.00 feet to a chiseled "X" in concrete set at the southwest terminus of said Glenwick Lane, on the north line of said Lot 7 and an east line of said Lot 1RA;

THENCE North 89°31'45" East, along the common line between said Lots 7, 8, 9, and 10 and said Glenwick Lane, a distance of 190.00 feet to a 1/2 inch iron rod found for the northeast corner of said Lot 10 and the northwest corner of Lot 12A, Block 5, Glenwick Place Condominiums, an addition to the City of University Park, according to the plat recorded in Volume 83122, Page 2021, Deed Records, Dallas County, Texas;

THENCE South 00°28'15" East, along the common line between said Lot 10 and said Lot 12A, passing at a distance of 70.00 feet the southwest corner of said Lot 12A and the northwest corner of a tract of land described in a Special Warranty Deed to Preston Terrace Apartments, L.P. recorded in Volume 2005167, Page 5991, Official Public Records, Dallas County, Texas, and continuing for a total distance of 142.50 feet to a 1/2" iron rod found for the southeast corner of said Lot 10 and the southwest corner of said remaining portion of Lot 11, Block 5, said Preston Heights Addition (Volume 1, Page 505), in the north line of a 15 foot alley;

THENCE South 89°31'45" West, along the north line of said 15 foot alley and the south lines of said Lots 10, 9, 8, 7, and 1RA, a distance of 500.00 feet to a 1/2" iron rod with yellow plastic cap stamped "RLG" set in the east line of said Westchester Drive, for the southwest corner of said Lot 1RA;

THENCE North 00°28'15" West, along the common line between said Lot 1RA and said Westchester Drive, a distance of 492.50 feet to the POINT OF BEGINNING, and containing 251,750 square feet or 5.7794 acres of land more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That we, Highland Park Independent School District (represented by _____), do hereby adopt this plat as 1RA-1, Block 4, Preston Heights Addition, an addition to the City of University Park.

WITNESS MY HAND AT DALLAS, TEXAS, this the _____ day of _____, 2016.

Signature: _____
Name and Title of Representative

STATE OF TEXAS §
COUNTY OF DALLAS §

This instrument was acknowledged before me on _____ by _____ as _____ of Highland Park Independent School District.

Notary Public, State of Texas

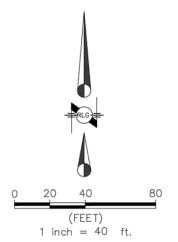
AMENDING PLAT
FOR
LOT 1RA, BLOCK 4,
THE EAST 40 FEET OF LOT 7, BLOCK 5
AND ALL OF LOTS 8-10, BLOCK 5
PRESTON HEIGHTS ADDITION
TO
LOT 1RA-1, BLOCK 4
PRESTON HEIGHTS ADDITION
S. POPPLEWELL SURVEY, ABSTRACT 1145
CITY OF UNIVERSITY PARK, DALLAS COUNTY, TEXAS
PROPERTY ADDRESS:
6700 WESTCHESTER DRIVE AND 4119, 4121, & 4125 GLENWICK LANE
UNIVERSITY PARK, TX
SCALE: 1" = 40' DATE: OCTOBER 27, 2016

OWNER: HIGHLAND PARK INDEPENDENT SCHOOL DISTRICT
7015 WESTCHESTER DRIVE DALLAS, TX 75226
214-583-1600

SURVEYOR: RAYMOND L. GOODSON JR., INC.
5445 LA SIERRA, STE 300, LB 17 DALLAS, TX 75231-4138
214-739-8100
rlg@rlginc.com
TX PR REG #P-493
TBPLS REG #100341-00

RECORDED	INST#	-	JOB NO.	16127	E-FILE	16127.dwg	DWG NO.	26,473W
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- NOTES:**
- Basis of bearings are the City of University Park Geodetic Control System, U.P. Monument #11.
 - Controlling Monuments:
 - City of University Park Geodetic Control Monument UP#15
 - as shown.
 - All coordinates posted hereon are grid coordinates based on City of University Park monuments as re-established by Raymond L. Goodson, Jr., Inc. (May, June, & July, 2003).



LEGEND

---	SUBJECT PROPERTY LINE
---	BOUNDARY LINE
---	EXISTING EASEMENT LINE
---	CHISELED "X" IN CONCRETE SET
---	CAP STAMPED "RLG" SET
---	1/2" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RLG" SET
---	IRON ROD FOUND/SET
---	CONTRROLLING MONUMENT
M.R.D.C.T.	MAP RECORDS, DALLAS COUNTY, TX
D.R.D.C.T.	DEED RECORDS, DALLAS COUNTY, TX
G.P.R.D.C.T.	OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TX
VOL.	VOLUME
PG.	PAGE
INST. NO.	INSTRUMENT NUMBER

10/27/2016 11:32:58 AM
FOR REVIEW NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION

HIGHLAND PARK I.S.D.

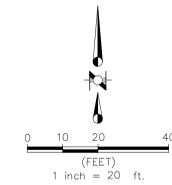


NEW SEAY CENTER UNIVERSITY PARK, TX

DRAWN: Author
CHECKED: Checker
SCALE:

ISSUE: 10/28/2016 - 100% CD

SHEET TITLE:
PRELIMINARY PLAT



LEGEND

- LIMITS OF PAVEMENT REMOVAL
- LIMITS OF PAVEMENT SAWCUT
- SAWCUT AND REMOVE EXIST PAVEMENT

DEMOLITION GENERAL NOTES

1. All demolition debris shall be disposed of legally in a permitted disposal facility.
2. Contractor to only remove trees designated by the owner, and dispose of legally at a permitted disposal facility. Tree removal to include all stumps and root balls.
3. Contractor is responsible for locating all existing utilities and protecting them through construction.
4. Locations of existing structures and pavement to be removed are approximate and are shown for reference. Contractor is responsible for identifying the number, type, and size of all structures including pavement to be removed.
5. All structures and foundations on site are to be removed to a minimum elevation of 2 feet below the proposed finished site grades. If basements are encountered, they are to be filled in engineered lifts and brought to finished grade as directed by the geotechnical engineer.
6. The Contractor is responsible for identifying and obtaining all permits that are required for site demolition.
7. The Contractor shall contact each utility company prior to demolition to coordinate the disconnection/relocation of utility services. All water and sanitary sewer services to be abandoned shall be disconnected and capped at the main or as required by the city.
8. The Contractor must meet the requirements of the Texas Pollutant Discharge Elimination System General Permit No. TDR 150000, issued on March 5, 2013. If the project will disturb more than 1.0 acres of land, the contractor must prepare or have prepared a Storm Water Pollution Prevention Plan (SWPPP) and adhere to the requirements of the plan.

BENCHMARKS:
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 5445 LA DORNE DRIVE, SUITE 300, LB 17
 DALLAS, TEXAS 75237-4158 214/739-8100
 E-MAIL: rlg@rlg.com FIRM REG. P-482

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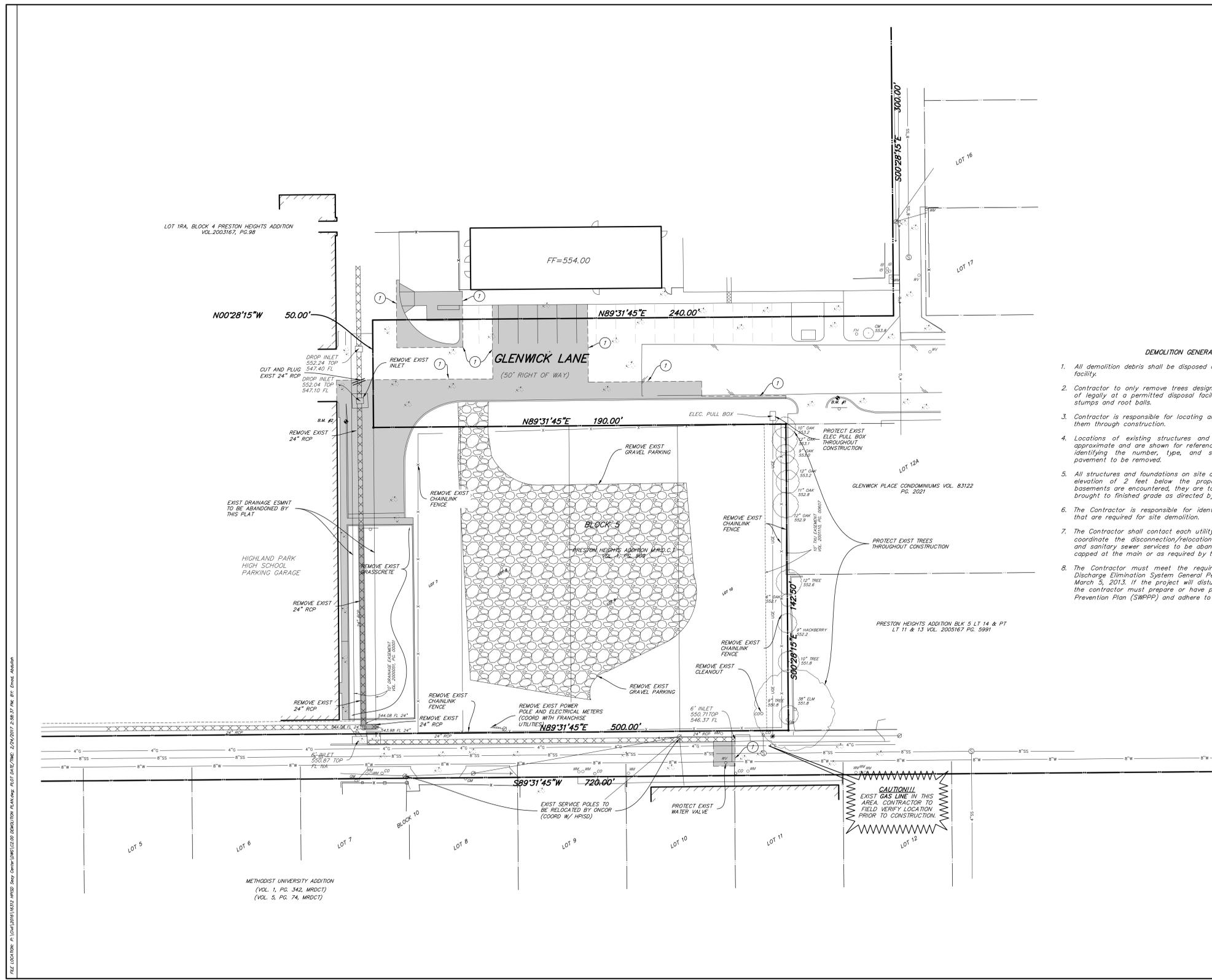
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 Stephen D. Schwind P.E. #108868
 Raymond L. Goodson, Jr., Inc.

SHEET NO.
C2.00

**DEMOLITION PLAN
 HPISD SEAY CENTER
 INDOOR TENNIS FACILITY
 STANTEC
 CITY OF UNIVERSITY PARK, TEXAS**

DESIGN	DRAWN	DATE	SCALE	XREF	FILE	NO.
RLG	RLG	2/23/17	1"=20'	16312	16	312

JOB NO. 16312 SUBMITTAL: REVISED PERMIT SET



10/27/2016 11:32:58 AM
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 APPROVAL,
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HIGHLAND PARK I.S.D.



**NEW SEAY CENTER
 UNIVERSITY PARK, TX**

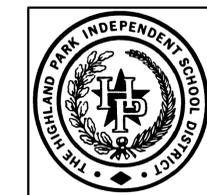
DRAWN: Author
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 SCALE:

ISSUE: 11/28/2016 - 100% CD

SHEET TITLE:
DEMOLITION PLAN

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HIGHLAND PARK I.S.D.



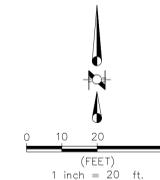
**NEW SEAY CENTER
UNIVERSITY PARK, TX**

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ISSUE: 11/28/2016 - 100% CD

LEGEND

- INSTALL REINFORCED CONCRETE ALLEY PAVEMENT PER C.U.P. STANDARD DETAILS
- INSTALL 8" 4500psi REINFORCED CONCRETE PAVEMENT WITH #3 BARS @ 18" O.C.E.W. ON 8" OF CEMENT MODIFIED OR 8" LIME STABILIZED COMPACTED FILL
- INSTALL VEHICULAR BRICK PAVERS ON 8" 4500psi REINFORCED CONCRETE PAVEMENT WITH #3 BARS @ 18" O.C.E.W. ON 8" OF CEMENT MODIFIED OR 8" LIME STABILIZED COMPACTED FILL (REF ARCH FOR COLOR, FINISH, ETC)
- INSTALL 4" 3000psi REINFORCED CONCRETE PAVEMENT WITH #3 BARS @ 24" O.C.E.W.
- INSTALL PEDESTRIAN BRICK PAVERS ON 4" 3000psi REINFORCED CONCRETE PAVEMENT WITH #3 BARS @ 24" O.C.E.W. (REF ARCH FOR COLOR, FINISH, ETC)
- DECOMPOSED GRANITE (COORD DETAILS WITH ARCH)
- PROPOSED CURB
- LIMITS OF PAVEMENT SAWCUT
- MATCH EXIST PAVEMENT GRADE
- INSTALL BFR PER TAS AND ADA STDS
- INSTALL INLET REF UTILITY PLAN
- PROPOSED FIRE LANE



PAVING GENERAL NOTES

- All materials and workmanship shall conform to the City of University Park standards and specifications, and to the Standard Specifications for Public Works Construction for North Central Texas prepared by the North Texas Council of Governments, latest edition and the City of University Park addendum thereto.
 - The paving contractor shall be responsible for the adjustment of water and sanitary sewer appurtenances in accordance with the standard details and specifications of the City of University Park.
 - Subgrade shall be scarified to depth of at least 6" and compacted to 95% percent of Standard Proctor density (ASTM D 698) at -2% to +2% percentage points of the materials optimum moisture content. The subgrade shall be in a moist condition at the time concrete is deposited thereon.
 - Dummy joints should be formed by one of the following methods: sawed, hand-formed or formed by premolded filler. Joint depth should be equal to one-fourth (1/4) of the slab thickness. Hand formed joints should have a maximum edge radius of one-fourth (1/4) inch. Sawing of joints should begin as soon as the concrete has hardened sufficiently to permit sawing without excessive raveling. All joints should be completed before uncontrolled shrinkage cracking occurs. Joints should be continuous across the slab unless interrupted by full-depth premolded joint filler and should extend completely through the curb. All joint openings shall be cleaned and sealed before opening paved area to traffic.
- Joint spacing**
- Expansion joints 90' max
 - Sawed Joints 20' for 8" pavement
 - Construction Joints Located at sawed joints or Expansion joints
- Expansion joints or isolation joints shall be used to isolate fixed objects abutting or within the paved area. They should contain premolded joint filler for the full depth of the slab.
 - All dimensions are to face of curb unless otherwise noted.
 - All concrete shall be Class "C" concrete and have a min. compressive strength of 3600 psi at 28 days, and a minimum of 5% air entrained unless otherwise noted.
 - Contractor shall obtain and pay for all permits required.
 - Contractor shall dispose of surplus dirt, debris, etc., legally offsite. All work areas shall be cleaned up at the completion of the work.
 - Surface finishing shall be skid resistant, a liquid curing compound shall be uniformly sprayed on the concrete immediately after the finishing operation.
 - Contractor shall provide all safety devices for the protection of the public.
 - All parking stalls to be marked by a 4" wide painted white stripe as indicated on the drawings.
 - The use of fly ash in concrete will not be allowed.
 - Concrete pavement and structures shall be backfilled as soon as possible after forms are removed.
 - Fire lanes shall be marked by six (6) inch wide lines using red traffic paint, with the wording "No Parking" and "Fire Lane" painted on the lines at intervals of fifteen (15) feet and lettering will be four (4) inches high and one (1) inch wide painted with white traffic paint or as required by the City.
 - All Barrier Free Ramps (BFR) must meet current American Disability Act (ADA) and Texas Accessibility Standard (TAS) requirements for slope, surface finish, and color.

BENCHMARKS:
 BM#1 A SQUARE CUT ON THE SOUTH TOP OF CURB OF GLENWICK LANE AND 158 FEET +/- WEST OF PRESTON ROAD WEST CURB LINE. (AS SHOWN) ELEVATION = 553.36'
 BM#2 A SQUARE CUT ON THE TOP OF CURB, 14 FEET +/- SOUTH OF THE CENTERLINE OF GLENWICK LANE, 13 FEET +/- EAST OF HIGHLAND PARK HIGH SCHOOL PARKING GARAGE, 428 FEET +/- WEST OF PRESTON ROAD WEST CURB LINE. ELEVATION = 553.00'

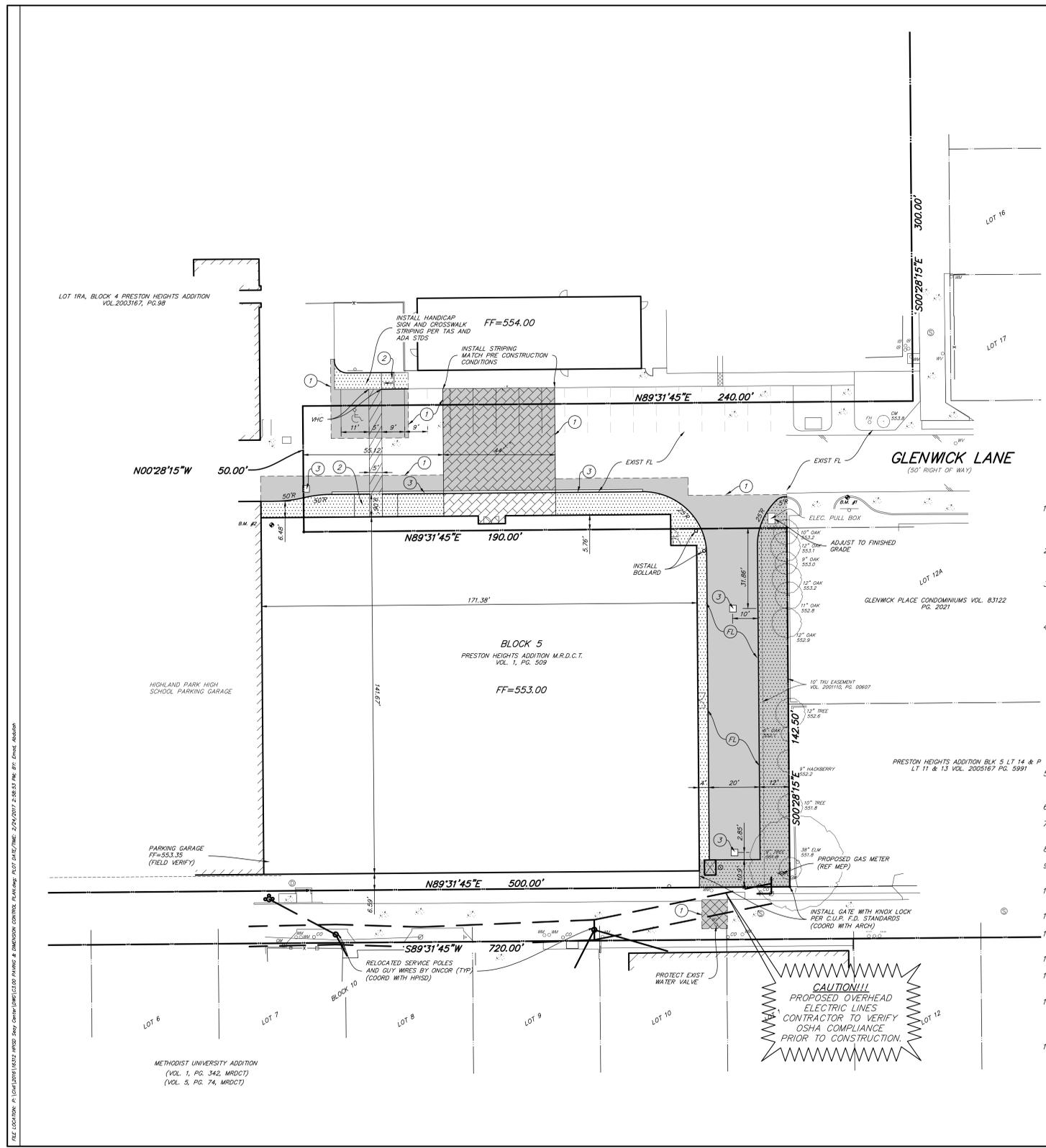
RLG
 RAYMOND L. GOODSON JR., INC.
 CONSULTING ENGINEERS
 5445 LA DOWNS DRIVE, SUITE 300, LB 17
 DALLAS, TEXAS 75237-4138 214/739-9100
 E-MAIL: rlg@rlg.com WWW.WEB: P-082

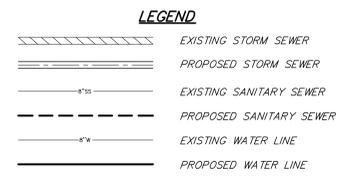
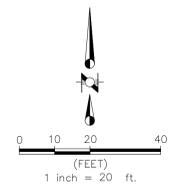
PROGRESS SET - FOR REVIEW ONLY
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 Stephen D. Schwind P.E. #108868
 Raymond L. Goodson, Jr., Inc.

SHEET NO.
C3.00

PAVING & DIMENSION CONTROL PLAN						
HPISD SEAY CENTER						
INDOOR TENNIS FACILITY						
STANTEC						
CITY OF UNIVERSITY PARK, TEXAS						
DESIGN	DRAWN	DATE	SCALE	XREF	FILE	NO.
RLG	RLG	2/23/17	1"=20'	16312	16	312
JOB NO.	SUBMITTAL: REVISED PERMIT SET					

SHEET TITLE:
PAVING & DIMENSION CONTROL PLAN





UTILITY GENERAL NOTES

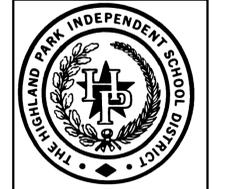
- All materials and workmanship shall conform to the City of University Park standards and specifications, and to the Standard Specifications for Public Works Construction for North Central Texas prepared by the North Texas Council of Governments, latest edition and the City of University Park addendum thereto.
- All water mains shall be AWWA C-900 PVC water pipe class 200.
- All 6" through 15" wastewater mains where PVC pipe is used shall be ASTM 3034 (SDR-35), unless otherwise specified.
- The maximum allowable trench width for all pipe through 12" diameter shall be 32".

STORM SEWER GENERAL NOTES

- All materials and workmanship shall conform to the City of University Park standards and specifications, and to the Standard Specifications for Public Works Construction for North Central Texas prepared by the North Texas Council of Governments, latest edition and the City of University Park addendum thereto.
- All drainage structures shall be 4000 psi concrete at 28 days.
- Reinforced Concrete Pipe shall be Class III unless otherwise noted. Preformed Butyl Pipe sealant shall be used on all pipe joints unless otherwise noted.
- PVC pipe shall be SDR 35 (ASTM 3034) unless otherwise noted.
- All pipe backfill shall be compacted to 95% of standard proctor density in six (6) inch lifts.
- Water jetting will not be allowed.
- All wye connections and bends shall be manufactured fittings.
- Contractor is responsible for locating all utilities and coordinating with utility companies prior to construction.

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HIGHLAND PARK I.S.D.



**NEW SEAY CENTER
UNIVERSITY PARK, TX**

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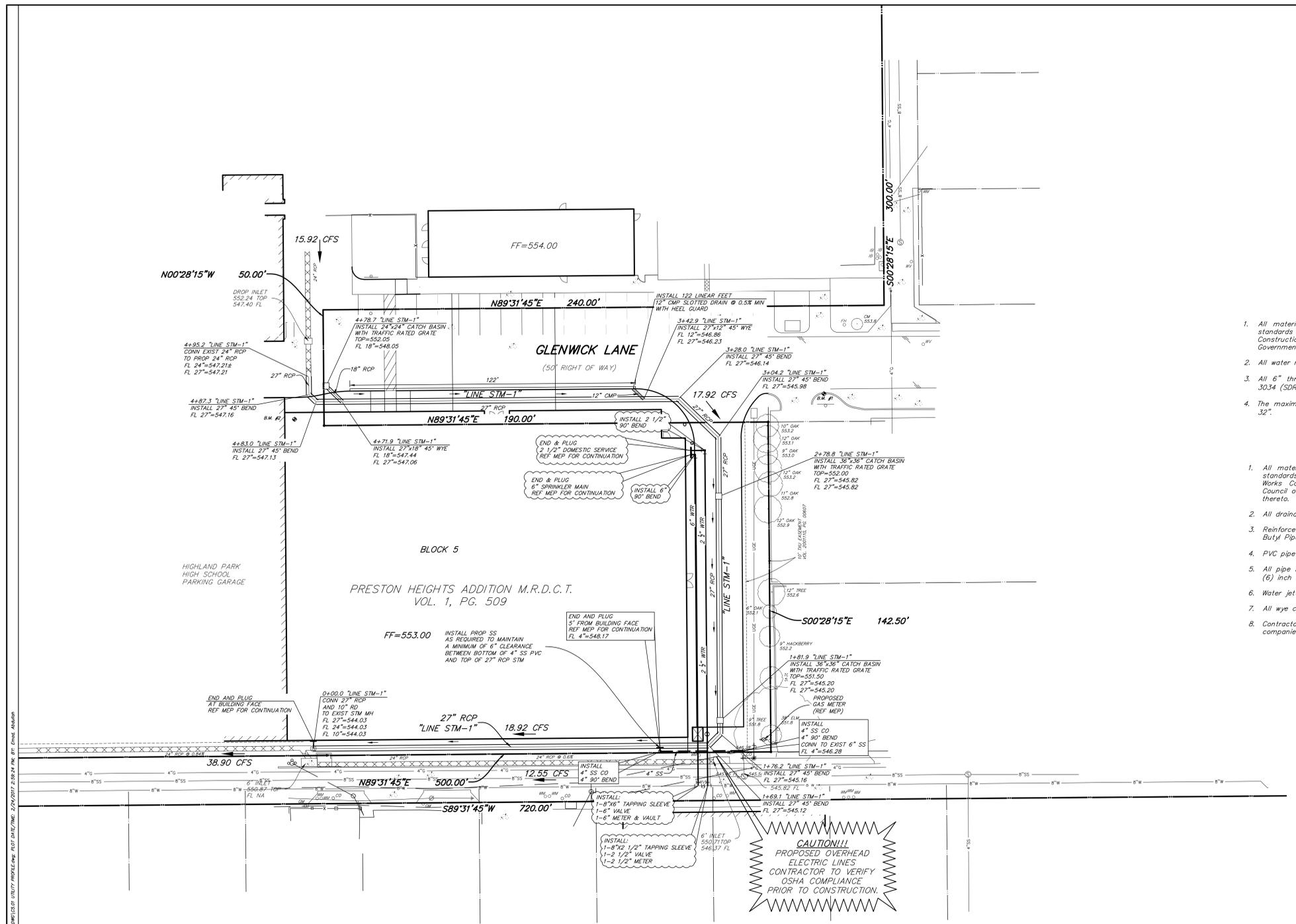
Stephen D. Schwind P.E. #108868
Raymond L. Goodson, Jr., Inc.

SHEET NO.
C1.00

UTILITY PLAN						
HPISD SEAY CENTER INDOOR TENNIS FACILITY						
STANTEC						
CITY OF UNIVERSITY PARK, TEXAS						
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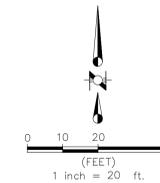
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UTILITY PLAN

C5.00
Project #: 214000411



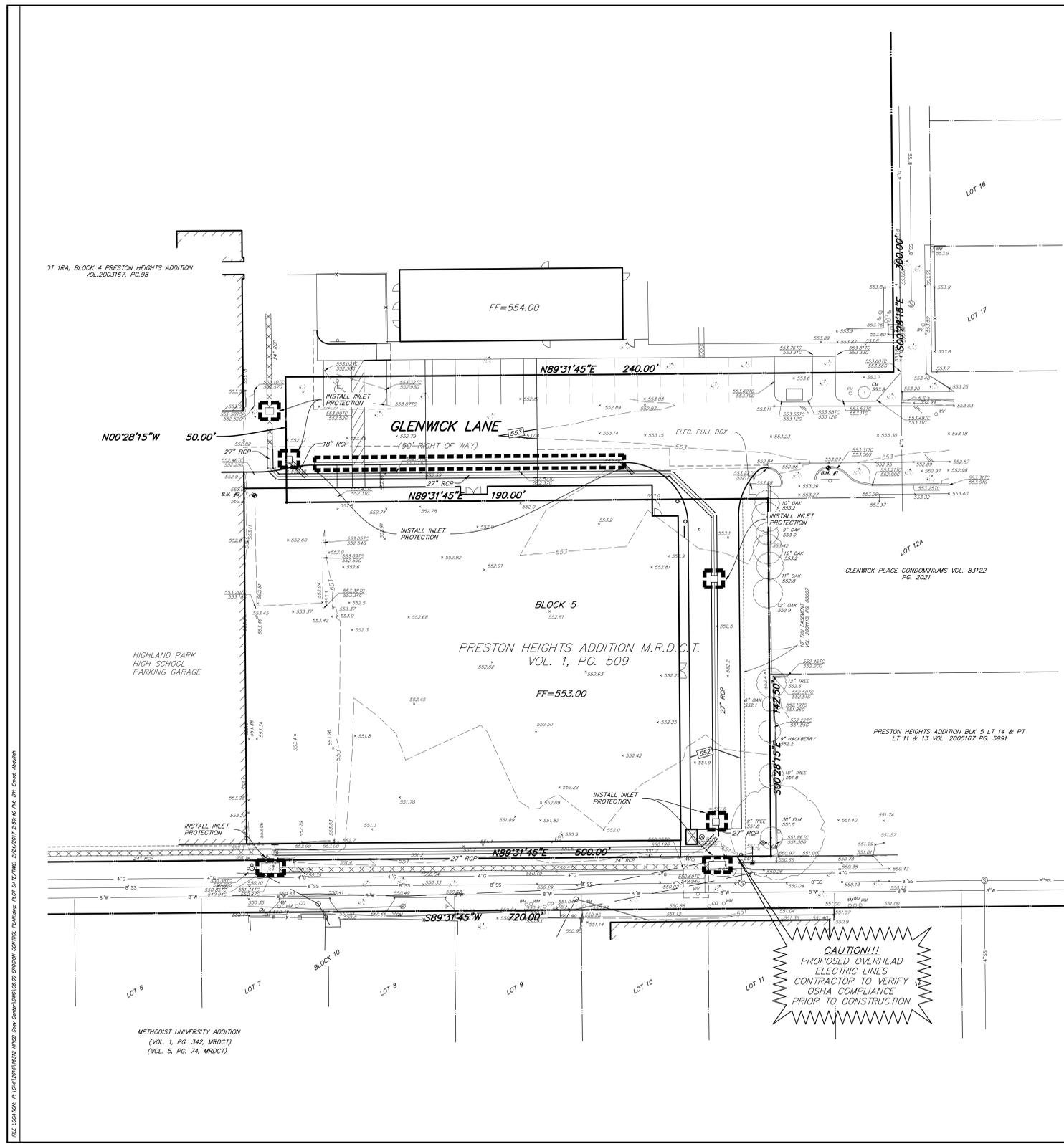
CAUTION!!!
PROPOSED OVERHEAD
ELECTRIC LINES
CONTRACTOR TO VERIFY
OSHA COMPLIANCE
PRIOR TO CONSTRUCTION.

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LEGEND

- INSTALL INLET PROTECTION
- INSTALL SILT FENCE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE



EROSION CONTROL - GENERAL NOTES

1. All procedures and materials used for erosion control shall be approved by the City of University Park.
2. It shall be the contractor's responsibility to use whatever means are necessary to control and limit silt and sediment leaving this site. Specifically, the contractor shall protect all public streets, alleys, streams, storm drain systems and inlets from erosion deposits. The contractor shall comply with storm water pollution prevention management practices per the City of University Park and TCEQ Requirements.
3. Silt fencing shall be Beltech silt fence 751 37" width or approved equal. Accumulated sediment shall be graded away from fence periodically when necessary.
4. Prior to commencing any construction, perimeter silt fence shall be installed at the locations shown on the plans and a stabilized construction entrance shall be constructed per the Erosion Control and Storm Water Pollution Prevention Plans as applicable.
5. Plant materials must be suitable for use under local climate and soil conditions. In general, hydro seeding or sodding bermuda grass is acceptable during the summer months (May 1 to August 30). Winter rye or fescue grass may be planted during times other than the summer months as a temporary measure until such time as the permanent planting can be made.
6. As inlets are completed, temporary sediment barriers and inlet protection shall be installed in accordance with the City of Highland Park Specifications.
7. At the completion of the paving and final grading, the disturbed area(s) shall be revegetated in accordance with the plans and specifications.
8. Silt fence and inlet sediment barriers shall remain in place until revegetation has been completed.
9. Disturbed areas that are seeded or sodded shall be checked periodically to insure that grass coverage is properly maintained. Disturbed areas shall be watered, fertilized and reseeded or resodded, if necessary.
10. If the erosion control is removed for construction and/or access purposes, the contractor shall replace it at the end of each work day.
11. Erosion protection may be added or deleted per the City of University Park.
12. If off-site soil borrow or spoil sites are used in conjunction with this project, this information shall be disclosed and shown on the Erosion Control Plan. Off-site borrow and spoil areas are considered a part of the project site and therefore shall comply with the City of University Park erosion control requirements. These areas shall be stabilized with permanent ground cover prior to final approval of the project.
13. The Contractor must meet the requirements of the Texas Pollutant Discharge Elimination System General Permit No. TXR 150000, issued on March 5, 2013. If the project will disturb more than 1.0 acre of land, the contractor must prepare or have prepared a Storm Water Pollution Prevention Plan (SWPPP) and adhere to the requirements of the plan.
14. The Contractor must provide appropriate controls to minimize dust and wind erosion during the construction process. Controls may include, but are not limited to 1) moisture conditioning the soil through the application of water, 2) sealing the soil with additives, or 3) covering the soils with less erodible materials, vegetation or pavement.

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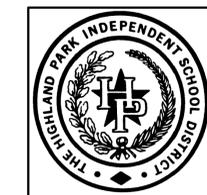
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SHEET NO.
C6.00

EROSION CONTROL PLAN						
HPISD SEAY CENTER						
INDOOR TENNIS FACILITY						
STANTEC						
CITY OF UNIVERSITY PARK, TEXAS						
DESIGN	DRAWN	DATE	SCALE	XREF	FILE	NO.
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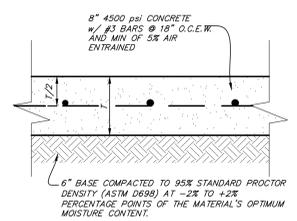
**NEW SEAY CENTER
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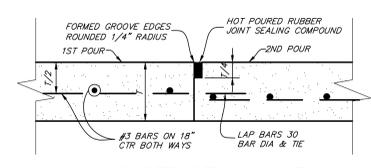
ISSUE: 11/28/2016 - 100% CD

SHEET TITLE:
EROSION CONTROL PLAN

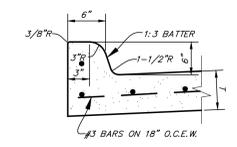
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 Project #: 214000411



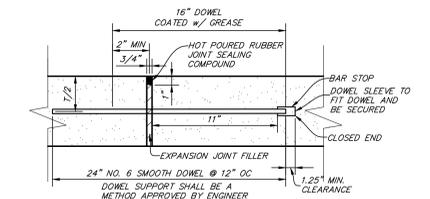
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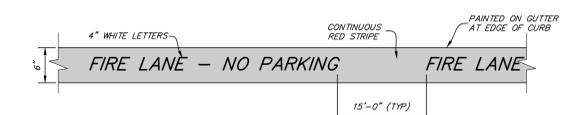
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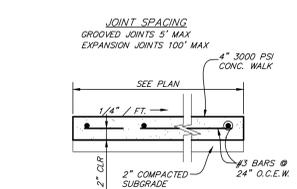
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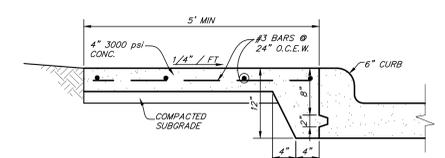
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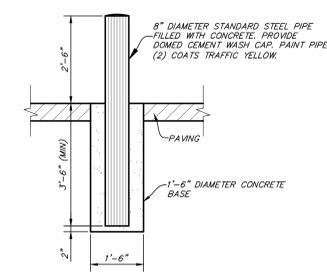
FIRE LANE MARKING
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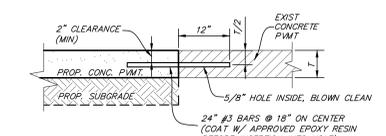
CONCRETE SIDEWALK DETAIL
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CONCRETE SIDEWALK DETAIL
NTS



BOLLARD DETAIL
NTS



ANCHOR JOINT DETAIL
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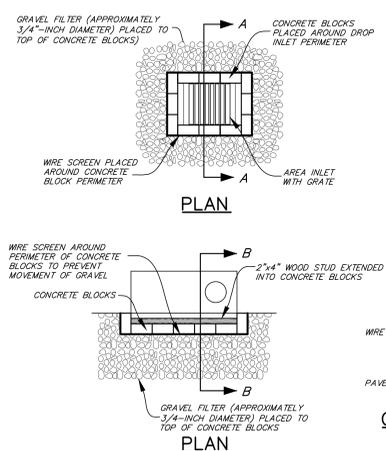
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E-MAIL: rlg@rlg.com WWW.WEB: P-483

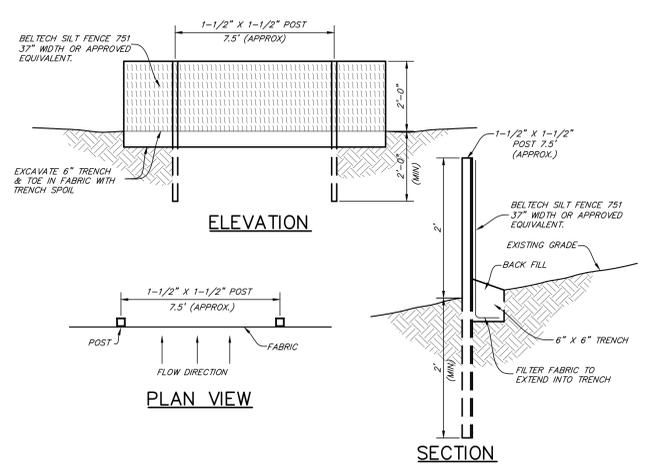
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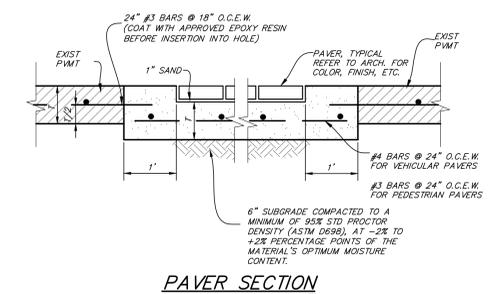
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HPISD SEAY CENTER						
INDOOR TENNIS FACILITY						
STANTEC						
CITY OF UNIVERSITY PARK, TEXAS						
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RLG	RLG	2/23/17	N/A	16312	16	312
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INLET PROTECTION DETAILS
NTS



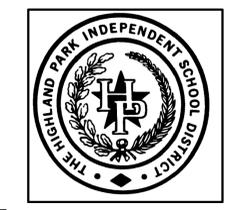
SILT FENCE DETAIL
NTS



PAVER SECTION
NTS

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NEW SEAY CENTER UNIVERSITY PARK, TX

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SCALE:
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Highland Park High School Parking Requirements

HPHS Parking Analysis	Quantity	Type	Ratio	Calculated Spaces
HPHS Existing Classrooms	69	Rooms	8 per classroom	552
HPHS Additional Classrooms	42	Rooms	8 per classroom	336
HPHS Auditorium Seats	798	Seats	1 space per 4 seats	200
Total Required Parking Capacity for HPHS based on classroom occupancy method				888

Support Buildings/ Spaces Parking Analysis	Quantity	Type	Ratio	Calculated Spaces
Admin Annex Building	13,148	SF	1 space per 300 SF	44
Admin Building	9,305	SF	1 space per 300 SF	31
Outdoor Tennis Building	24	Occupancy	1 space per 3 occupants	8
New Seay Center	23	Occupancy	1 space per 3 occupants	8
Softball Field Seating	162	Seats	1 space per 4 seats	40.5
Baseball Field Seating	600	Seats	1 space per 4 seats	150
Proposed Natatorium	300	Seats	1 space per 4 seats	75

HPHS campus current parking capacity and future parking capacity

Parking Area	Existing parking spaces	Future parking spaces	
Emerson Head-In parking	41	41	
Westchester On Street Parking	151	151	12 of these spaces are fully in ROW
Lovers Head-In Parking	31	31	
Douglas On Street Parking	79	79	13 of these spaces are fully in ROW
Douglas Parking Lot (removed with NW Addition)	87	0	
Grassmere On Street Parking	46	46	13 of these spaces are fully in ROW
Admin Building Parking Lot	13	13	
Parking Garage	806	806	
Tennis Center Parking	17	19	
Druid On Street parking	20	20	20 of these spaces are fully in ROW
New Parking between Lovers and Hyer	n/a	90	
New Parking between Hyer and Grassmere	n/a	100	
New Head-in parking on Douglas	n/a	10	
Total Parking Spaces	1291	1406	

SITE GENERAL NOTES

- FIELD VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE BEGINNING WORK.
- REFERENCE CIVIL AND MEP DOCUMENTS FOR ADDITIONAL HARDSCAPE SAW CUTTING, EARTH REMOVAL, TRENCHING, AND RELOCATION OR DEMOLITION OF EXISTING UTILITIES UNDER AND ABOVE GROUND, TYP.
- REFER TO SHEET A801 FOR MATERIAL SCHEDULE AND NOTES.
- PROVIDE DETECTABLE WARNING AT CURB, RAMP AND OTHER LOCATIONS WHERE WALKING SURFACES CROSS OR ADJOIN A VEHICULAR WAY, AS PER TAS REQUIREMENTS.
- REFER TO CIVIL DOCUMENTS FOR EXACT PAVING LOCATIONS.
- REFER TO IRRIGATION DRAWINGS FOR SLEEVE LOCATIONS.

SITE SIGNAGE GENERAL NOTES

- ALL GRAPHICS AND SIGNAGE TO BE FABRICATED IN ACCORDANCE WITH CITY OF UNIVERSITY PARK AND STATE OF TEXAS STANDARDS, TYP.
- ALL FIRE LANE STRIPING TO BE IN ACCORDANCE WITH DALLAS COUNTY AND CITY OF UNIVERSITY PARK FIRE MARSHAL REQUIREMENTS.
- VERIFY SIGNAGE LOCATION, MESSAGE, GRAPHIC AND FACE DIRECTION (S) WITH ARCHITECT PRIOR TO FABRICATION.

SITE COVERAGE

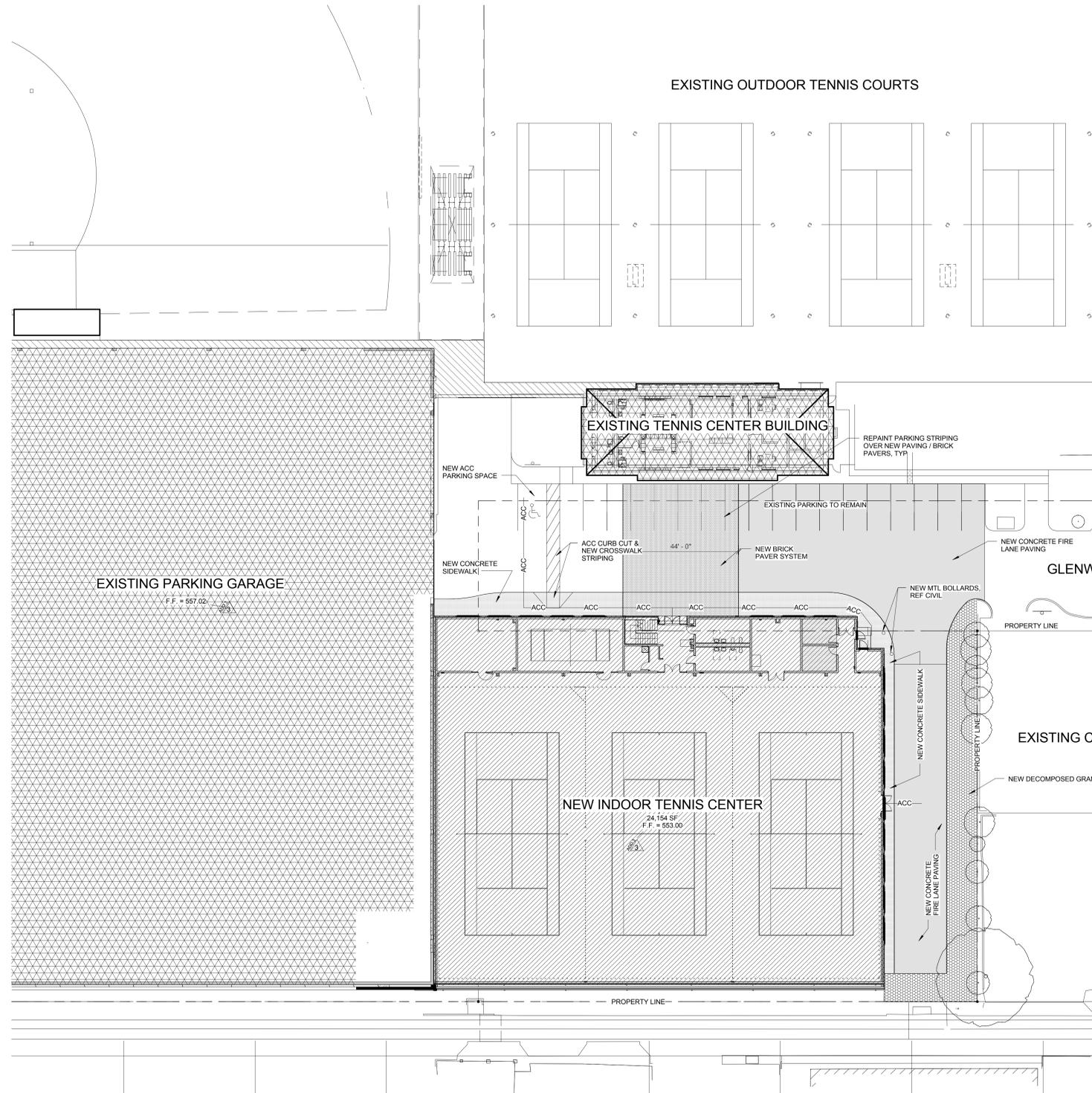
TOTAL SITE AREA: 27,075 SF = 0.622 ACRES
 TOTAL BUILDING AREA: 24,154 SF
 SITE COVERAGE: 89.2%

SITE DEMOLITION GENERAL NOTES

- OBTAIN AVAILABLE PLANS DEPICTING EXISTING AND PROPOSED UTILITIES PRIOR TO CONSTRUCTION. ANY DAMAGE TO SAID UTILITIES CAUSED BY CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- ALL STREET WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF UNIVERSITY PARK STANDARD DETAILS. ADJACENT SIDEWALKS SHALL ALSO CONFORM. OBTAIN NECESSARY CITY PERMITS BEFORE WORKING WITHIN THE STREET RIGHT OF WAY.
- REPAIR/REPLACE ALL EXISTING SIDEWALKS AND PAVING TO REMAIN THAT ARE DAMAGED DUE TO CONSTRUCTION.
- WHERE AREAS OF EXISTING PAVING ARE TO BE REMOVED, CUTS SHALL BE VERTICAL, CLEAN, AND SHARP. DEBRIS SHALL BE REMOVED FROM SITE.
- NEW PAVING INSTALLED SHALL "FLUSH-OUT" AT ANY JUNCTURE WITH EXISTING PAVING.
- REMOVE ALL SPRINKLER HEADS AND EQUIPMENT IN THE AREAS OCCUPIED BY THE CONSTRUCTION AND STAGING AREAS. TERMINATE/REMOVE OFF LINES AS REQUIRED. ALL SPRINKLER HEADS AND EQUIPMENT SHALL BE GIVEN TO THE OWNER. MAKE NECESSARY CHANGES TO THE IRRIGATION SYSTEM THAT ARE REQUIRED TO KEEP THE REMAINING AREAS OUTSIDE OF THE CONSTRUCTION AREAS IN WORKING ORDER. THIS INCLUDES RELOCATION OF ANY VALVES, PIPING, CONTROLS, WIRING AND ACCESSORIES NECESSARY TO OPERATE THE REMAINING SYSTEM.
- AT THE COMPLETION OF THE CONSTRUCTION PROJECT, REINSTALL IRRIGATION SYSTEM THROUGHOUT THE AREAS THAT WERE INVOLVED IN THE CONSTRUCTION. EQUIPMENT INSTALLED SHALL BE THE SAME AS THAT WHICH WAS REMOVED. OWNER WILL PROVIDE THE EQUIPMENT THAT WAS REMOVED FOR INSTALLATION. PROVIDE ANY ADDITIONAL EQUIPMENT REQUIRED.
- PROTECT ADJACENT PLANTINGS FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. PLACE TEMPORARY CONSTRUCTION FENCE 3' PAST THE DRIP LINE OF TREES TO REMAIN WITHIN THE STAGING AND CONSTRUCTION AREAS. DO NOT USE THE AREA WITHIN THESE CONSTRUCTION FENCES FOR ANY PURPOSE WITHOUT EXPRESS WRITTEN CONSENT OF THE ARCHITECT.
- KEEP DRIVES AND PARKING AREAS, EXCEPT FRONT DROP OFF LANE, ACCESSIBLE FOR THE SCHOOL DISTRICT EMPLOYEES AND PARENTS AT ALL TIMES DURING SCHOOL SESSION.
- COORDINATE WITH THE OWNER TO DETERMINE ACCESSIBLE WALKING ROUTES FROM THE PARKING AREAS TO THE SCHOOL FOR SCHOOL DISTRICT EMPLOYEES TO USE. PROVIDE FENCING ALONG ACCESS ROUTE IF REQUIRED TO KEEP SCHOOL EMPLOYEES SEPARATED FROM THE CONSTRUCTION AREAS.
- REFERENCE CIVIL AND MEP DOCUMENTS FOR ADDITIONAL HARDSCAPE, SAW CUTTING, EARTH REMOVAL, TRENCHING, AND RELOCATION AND / OR DEMOLITION OF EXISTING UTILITIES UNDER AND ABOVE GROUND, TYP.

SITE LEGEND

- PROPOSED BUILDING
- NEW CONCRETE PAVING, REF CIVIL
- NEW CONCRETE SIDEWALK, REF CIVIL
- NEW BRICK PAVER SYSTEM (PV1), REF CIVIL
- NEW DECOMPOSED GRANITE (4" DEPTH) TO BE FLUSH WITH ADJ PAVEMENT. SEPARATE AT ANY LANDSCAPE AREA BY STEEL EDGING. INSTALL BINDER W/ DECOMPOSED GRANITE - BINDER TO BE "STABILIZER" FROM STABILIZER SOLUTIONS (800-336-2468). INSTALL IN 2" LAYERS PER MFR'S RECOMMENDATION AND MIX PRIOR TO INFILL. INSTALL WEED BARRIER MAT BETW/ GRANITE AND SOIL.
- ACC - ACC ACCESSIBLE ROUTE



5717 LEGACY DRIVE SUITE 250 PLANO, TEXAS 75024
 P 214.473.2400 F 214.473.2401

Final Plans for Bidding and Construction

JONATHAN S. ALDIS
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3 2017 01 11 Addendum #3
 4 2017 01 20 Addendum #4

SHEET TITLE:
ARCHITECTURAL SITE PLAN

AS001

Project #: 214000411

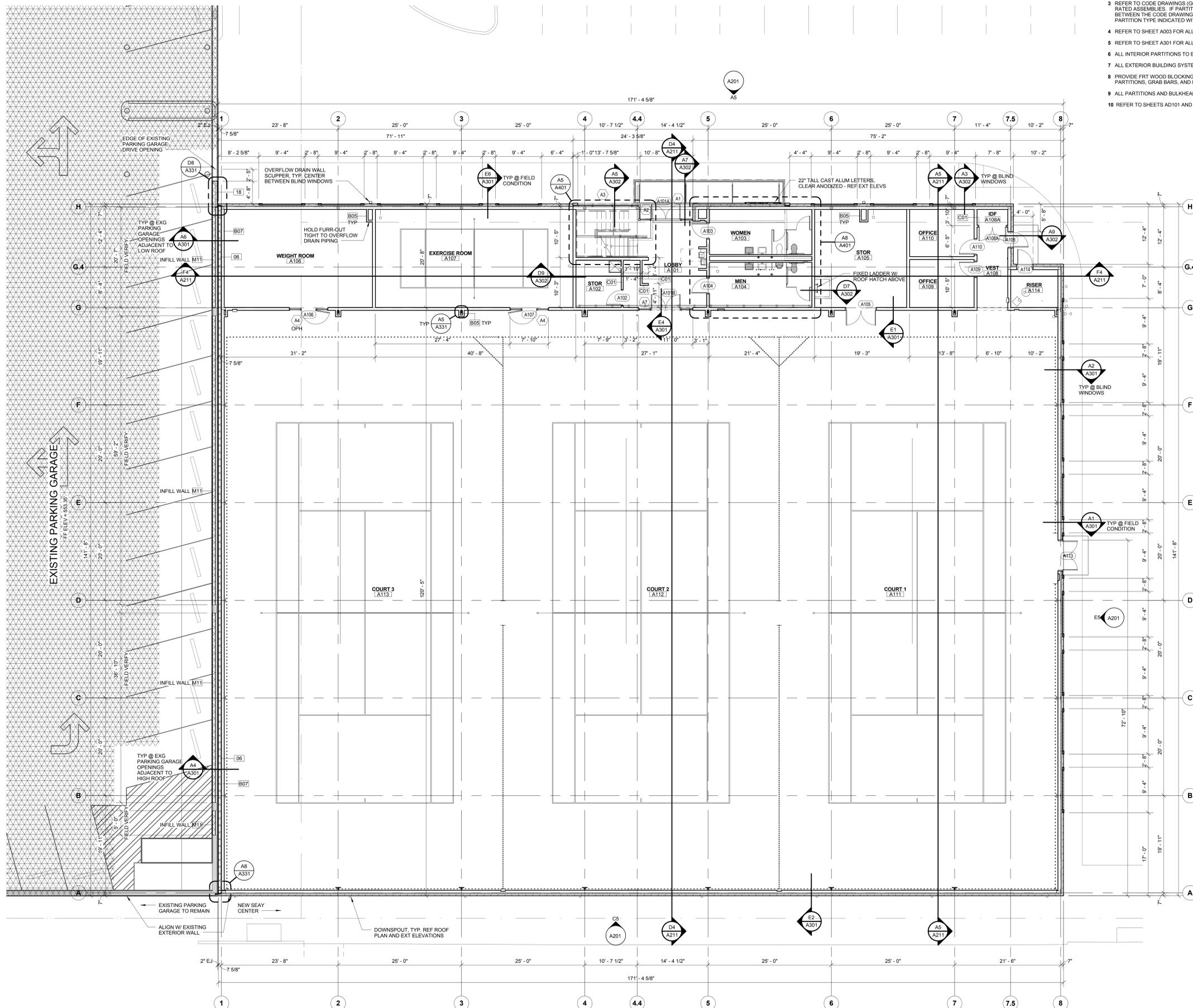
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A3 ARCHITECTURAL SITE PLAN
 1" = 20'-0"

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FLOOR PLAN GENERAL NOTES

- 1 FIRST FLOOR REFERENCE ELEVATION 100'-0" = 553.00' (553.00' DATUM, REFER TO CIVIL)
- 2 ALL DIMENSIONS ARE FROM COLUMN REFERENCE LINE TO FACE OF STUD / CMU, UNLESS NOTED OTHERWISE.
- 3 REFER TO CODE DRAWINGS (G200 SERIES) FOR LOCATIONS & EXTENT OF RATED ASSEMBLIES. IF PARTITION DESIGNATION DISCREPANCY OCCURS BETWEEN THE CODE DRAWING & THE FLOOR PLANS, PROVIDE THE PARTITION TYPE INDICATED WITH THE MOST STRINGENT REQUIREMENTS.
- 4 REFER TO SHEET A003 FOR ALL INTERIOR PARTITION TYPES.
- 5 REFER TO SHEET A301 FOR ALL EXTERIOR BUILDING SYSTEMS.
- 6 ALL INTERIOR PARTITIONS TO BE 'C11' UNLESS NOTED OTHERWISE.
- 7 ALL EXTERIOR BUILDING SYSTEMS TO BE TYPE '21' UNLESS NOTED OTHERWISE.
- 8 PROVIDE FRT WOOD BLOCKING AT ALL TOILET PARTITIONS, GRAB BARS, AND HAND RAILS.
- 9 ALL PARTITIONS AND BULKHEADS SHALL EXTEND TO BOTTOM OF DECK (UCN).
- 10 REFER TO SHEETS AD101 AND AD111 FOR DEMOLITION PLANS.



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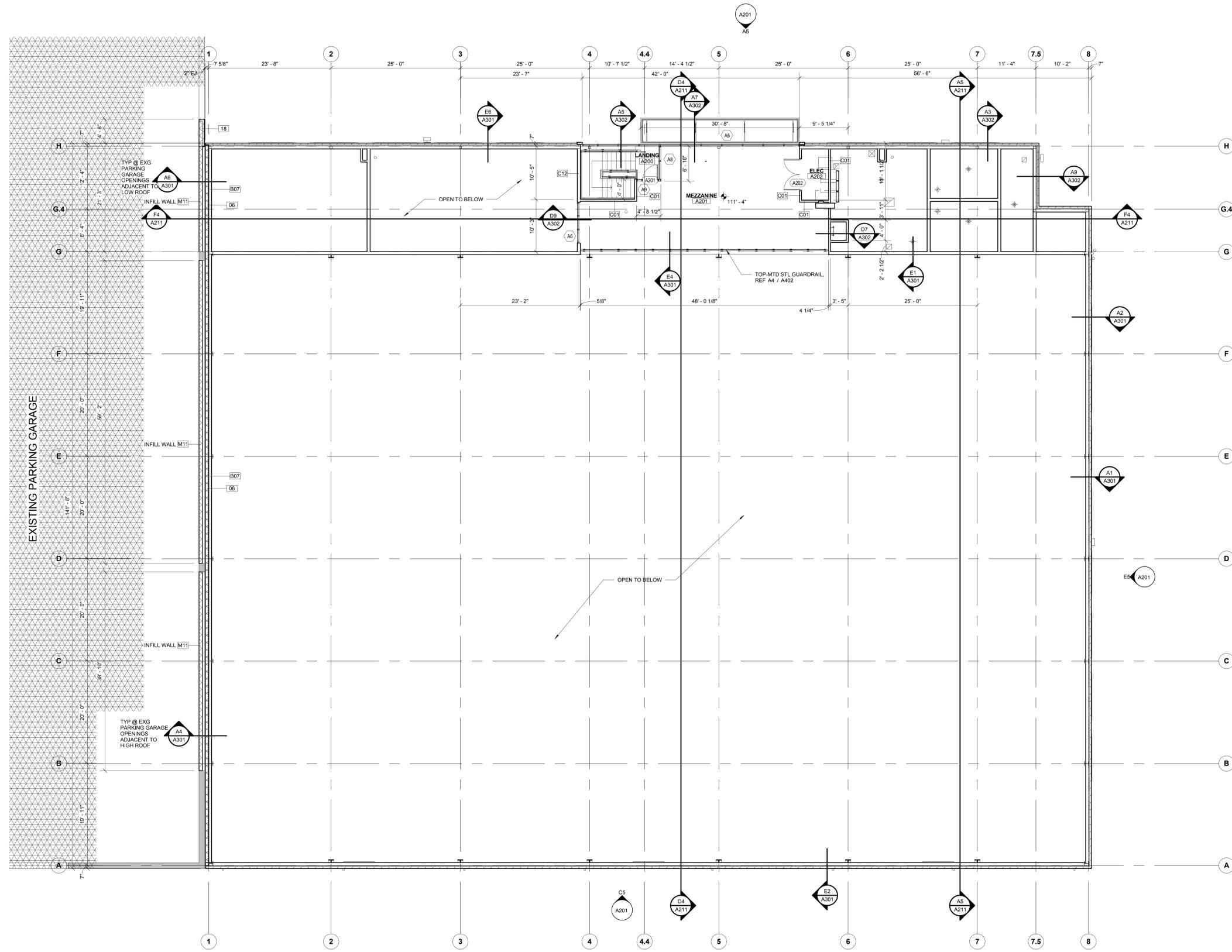
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SHEET TITLE:
FIRST LEVEL FLOOR PLAN

A1 FIRST LEVEL FLOOR PLAN
1/8" = 1'-0"

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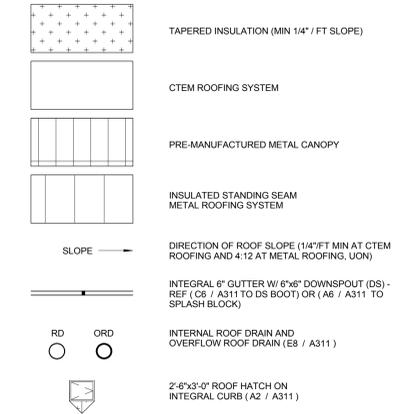
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SHEET TITLE:
**MEZZANINE LEVEL FLOOR
 PLAN**

A2 MEZZANINE LEVEL FLOOR PLAN
 1/8" = 1'-0"

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ROOF LEGEND



GENERAL ROOF NOTES

- REFER TO SHEET A311 FOR TYPICAL ROOF PENETRATION DETAILS. REFER TO MEP DOCS FOR ADDITIONAL PENETRATION DETAILS.
- ALL DIMENSIONS ARE FROM COLUMN / REFERENCE LINE TO CENTERLINE OF ROOF OPENING, UNLESS NOTED OTHERWISE. ROOF OPENING SIZES INDICATED ARE BASED ON THE MANUFACTURER'S EQUIPMENT. COORDINATE WITH MECHANICAL, PLUMBING AND / OR ELECTRICAL TRADE CONTRACTOR TO OBTAIN PURCHASED EQUIPMENT'S OPENING REQUIREMENTS.
- REFER TO MEP DRAWINGS FOR ROOF TOP EQUIPMENT NOT SHOWN. MEP EQUIPMENT DEPICTED ON THIS DRAWING IS FOR GENERAL ARCHITECTURAL INFORMATION ONLY. REFER TO MEP DRAWINGS FOR ADDITIONAL REQUIREMENTS AND COORDINATION. REFER TO STRUCTURAL DOCUMENTS FOR EQUIPMENT SUPPORTS.
- REFER TO SHEET A311, MEP DRAWINGS AND STRUCTURAL DRAWINGS FOR CURB DETAILS.
- PROVIDE WALKWAY PAD AT PIPE SUPPORT LOCATIONS. REFER TO MEP DRAWINGS FOR PIPE SUPPORT LOCATIONS AND TYPE. PAD SHALL BE MINIMUM 2' WIDER THAN SUPPORT IN ALL DIRECTIONS.
- PROVIDE CONTINUOUS 36" WIDE WALKWAY PAD AT SERVICE SIDE OF ALL MECHANICAL EQUIPMENT WITH 2" SEPARATIONS BETWEEN PADS. REFER TO MEP DRAWINGS FOR NUMBER AND LOCATION OF ROOF TOP MECHANICAL EQUIPMENT. PROVIDE CONTINUOUS 36" WIDE WALKWAY PADS AROUND ROOF HATCHES WITH 2" SEPARATIONS BETWEEN PADS. PROVIDE 72" X 72" WALKWAY PADS AT TOP AND BOTTOM OF ACCESS LADDERS.
- EXPOSED METAL FLASHING / TRIM PIECES ARE TO BE PREFIN GALV STL, UON. PAINT EXPOSED METAL FLASHING / TRIM PIECES THAT ARE NOT PREFIN, AS WELL AS ALL EXPOSED MISC STL PIECES. REFER TO COLOR SCHEDULE AND NOTES, SHEET A801.
- GUTTERS SHALL BE PREFINISHED GALV STL. GUTTER SIZES PER ROOF LEGEND, UON. PROVIDE PNT 1/4" X 1/2" GALV STL BEND PLATE BRACKETS AND 1" GALV STL SPACERS AT 36" OC MAX - STAGGER W/ EACH OTHER AT 18" OC. PROVIDE PREFIN GUTTER EJS. PROVIDE SS SCREENS AT ALL GUTTERS. LOCATE GUTTER EJS PER ROOF PLAN (30'-0" OC MAX SPAN). DOWNSPOUTS SHALL BE PREFINISHED GALV STL. DOWNSPOUTS ARE 6"x6". UON. LOCATE AS INDICATED PER ROOF PLAN AND ELEVATIONS. PROVIDE PNT 2" GALV STL HANGERS AT 48" OC. PROVIDE PNT VANDALPROOF SS STRAINER AT EACH DOWNSPOUT.
- PROVIDE DOWNSPOUT LINER AT DOWNSPOUTS THAT OCCUR AT GRADE LEVEL. SIZE BOOT TO FIT DOWNSPOUT (REF DETAIL C6/A311).
- TAPERED INSULATION SHALL BE 1/4" / FT MIN SLOPE TO DRAIN. ROOF PLAN SHOWS TAPERED INSUL (INTS) AND IS GRAPHIC ONLY TO SHOW SLOPE AND APPROX LOCATION. VERIFY INSULATION REQ'D TO MAINTAIN SLOPE PRIOR TO INSTALLATION.
- PROVIDE TAPERED INSULATION CRICKETS (1/4" / FT MIN SLOPE) AT HIGH SIDE OF ALL MECH UNITS, SKYLIGHTS, ROOF HATCHES, AND MISC ROOF PENETRATIONS. TO SHED WATER AROUND AND ENSURE POSITIVE ROOF DRAINAGE.
- WOOD BLOCKING AT ROOF EDGES, RIDGES, ETC SHALL BE FABRICATED FROM CONT MIN 2X6 PRT WD BLOCKING. PROVIDE LARGER 2X PRT WDS REQ'D PER DETAIL DIMENSIONS OR AS PER ROOFING MANUF RECOMMENDATIONS.
- WHERE WOOD BLOCKING EXCEEDS 6" THICKNESS AT TAPERED INSULATION, PROVIDE STEM WALL CONSTRUCTED OF 6" GALV CFMIF AT 16" OC W/ CONT TRACK TOP AND BOTTOM AND W/ 1/4" PRT EXT GR PLYWD AT EA SIDE, TOP TO SLOPE W/ TAPERED INSULATION.
- PROVIDE STEP FLASHING AND COVER PLATE AT SLOPED ROOF HI / LO CONDITIONS.
- VENT STACKS AND OTHER PIPES REQUIRE A MINIMUM 12" CLEARANCE ON ALL SIDES FROM WALLS, CURBS, AND OTHER PROJECTIONS TO FACILITATE PROPER FLASHING.
- REFER TO SHEET A301 FOR BUILDING SYSTEM TYPES AND ROOFING ASSEMBLY INFORMATION.
- STRUCTURAL SLOPES SHOWN ON PLAN ARE FOR GENERAL CONCEPT ONLY. REFER STRUCTURAL DRAWINGS FOR EXACT TO-SLOPE ELEVATIONS. WHERE ROOF SLOPE EXCEEDS 1/2" PER FT, INSTALL ROOFING MEMBRANE SHEETS PARALLEL WITH SLOPE.
- REFER PLUMBING DOCUMENTS FOR ROOF DRAIN LEADERS, CONNECTIONS TO STORM DRAIN, AND NOZZLES.
- FLASHING AND STRIPPING MATERIALS, BASE PLY SHEETS, AUXILIARY MEMBRANES, INSULATION AND ACCESSORIES SHOULD BE RECOMMENDED BY THE ROOFING SYSTEM MANUFACTURER FOR INTENDED USE AND COMPATIBILITY WITH THE MEMBRANE ROOFING SYSTEM UON.
- PROVIDE STD EAVE CLOSURES, AND MISC TRIM REQUIRED FOR COMPLETE ASSEMBLY.
- FOR TYPICAL ROOF PENETRATION DETAILS, PROVIDE MEMBRANE ROOF MFRS STD ROOF CURBS AND PENETRATION DETAILS. FOR LOCATIONS, WEIGHTS, AND ANY OTHER ADDITIONAL INFO REF TO MEP DOCS.
- COORDINATE FINAL SIZE W/ MEP CONTRACTOR.
- PROVIDE CURBS AND SUPPORTS NOT INDICATED ON THE STRUCTURAL DOCUMENTS FOR ROOF TOP MECH EQUIPMENT, INCLUDING BUT NOT LIMITED TO RTUS, CONDENSERS, AND FANS. REFER TO STRUCTURAL AND MEP DOCUMENTS.
- PROVIDE SUPPORTS AND FLASHING AS REQUIRED AT GAS PIPING ON THE ROOF AS INDICATED.
- PROVIDE METAL END CLOSURE ON EXPANSION JOINTS WHERE THEY OCCUR AT THE EDGE OF THE ROOF.
- PROVIDE ADDITIONAL ROOF MEMBRANES AS PROTECTION AT "SERVICE SIDE" OF ALL MECH EQUIPMENT AS WELL AS PROTECTION AT "ACCESS SIDE" OF ALL ROOF HATCHES AND ROOF ACCESS LADDERS (FIELD VERIFY LOCATIONS).
- ALL WOOD BLOCKING AT ROOF EDGES ARE TO BE FABRICATED FROM CONT 2X PRT WD BOARDS. ALL COPING TO BE SLOPED TOWARD THE INTERIOR.
- ALL THROUGH WALL FLASHING SYSTEMS TO ACCOMMODATE 6" MINIMUM FLASHING HEIGHT FROM FINISHED ROOF SURFACE. PROVIDE END DAMS AS CONDITIONS ALLOW. ALL FLASHING TO HAVE 4" AP MINIMUM OR STEP.
- ALL VERTICAL MEMBRANE FLASHING SHALL BE MECHANICALLY FASTENED AND INSTALLED WITH NEW METAL COUNTER-FLASHING UTILIZING A CONTINUOUS CLIP. SLIDE METAL COVER PLATE DOWN OVER VERTICAL CLIP AND SEAL.
- PAINT ALL GAS PIPE BLACK.
- FOR HOUSEKEEPING PADS, ALL DIMENSIONS INDICATED ARE FOR REFERENCE AND SIZED BASED ON BASIS OF DESIGN EQUIPMENT. COORDINATE ACTUAL SIZES WITH MECHANICAL, PLUMBING & ELECTRICAL TRADE CONTRACTORS.

STRUCTURAL INSULATED STANDING SEAM METAL ROOFING GENERAL NOTES:

- NEW ROOF SURFACES SHALL BE PREFINISHED GALVANIZED STEEL COATED INSULATED STANDING SEAM METAL ROOF PANELS W/ CONCEALED FASTENERS. REFER TO BUILDING SYSTEM TYPES AND EXTERIOR WALL SECTIONS FOR DETAILS.
- STRUCTURAL SLOPES SHOWN ON PLAN ARE FOR GENERAL CONCEPT ONLY. REFER METAL BLDG MANUF FOR EXACT TO-SLOPE ELEVATIONS.
- REFER CIVIL DOCUMENTS FOR ROOF DRAIN CONNECTIONS TO STORM DRAINS.
- PROVIDE SPLASH BLOCKS TYP AT ALL ROOF LEADER NOZZLES THAT SPILL ONTO A LOW ROOF.
- ALL EXTERNAL GUTTERS SHALL BE FULLY WELDED PREFINISHED GALV STEEL, SIZED AS INDICATED ON THE DRAWINGS.
- FOR TYPICAL ROOF PENETRATION DETAILS, PROVIDE PER MTL ROOF MFRS STD ROOF PENETRATION DETAILS. FOR LOCATIONS AND ADDITIONAL INFO REFER TO MEP DOCS.
- PROVIDE STD EAVE CLOSURES, AND MISC TRIM REQUIRED FOR COMPLETE ASSEMBLY.
- PROVIDE ALUMINUM-ZINC ALLOY COATED FLASHINGS AT RISE WALLS.
- PAINT ALL EXPOSED METAL FLASHING THAT IS NOT PREFINISHED REF TO COLOR SCHEDULE AND NOTES, SHEET A801.
- SINGLE-SOURCE RESPONSIBILITY: STRUCTURAL INSULATED STANDING SEAM METAL ROOFING SHALL BE BY ONE ROOFING MANUFACTURER / SUPPLIER.

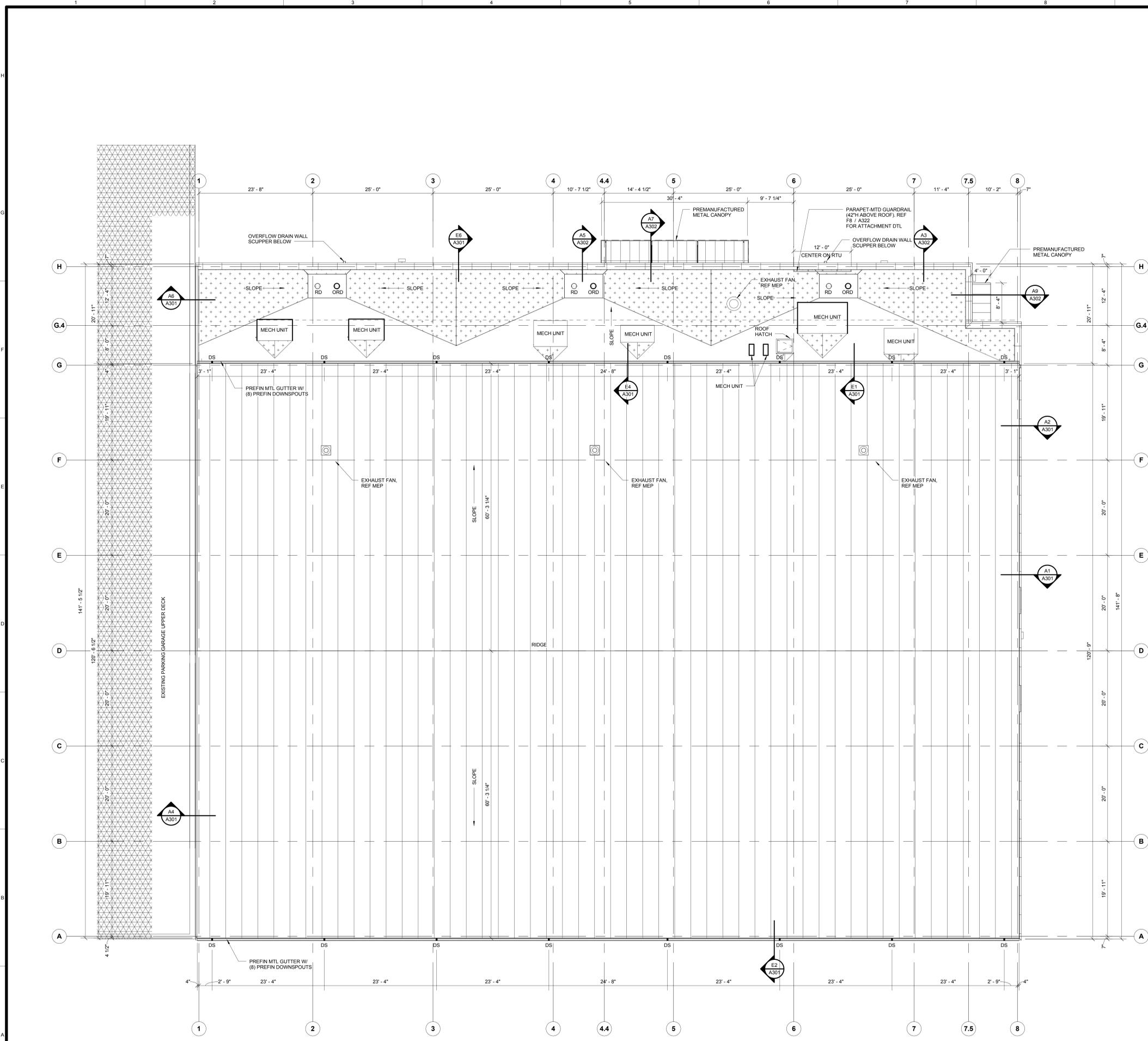
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A1 ARCHITECTURAL ROOF PLAN
1/8" = 1'-0"

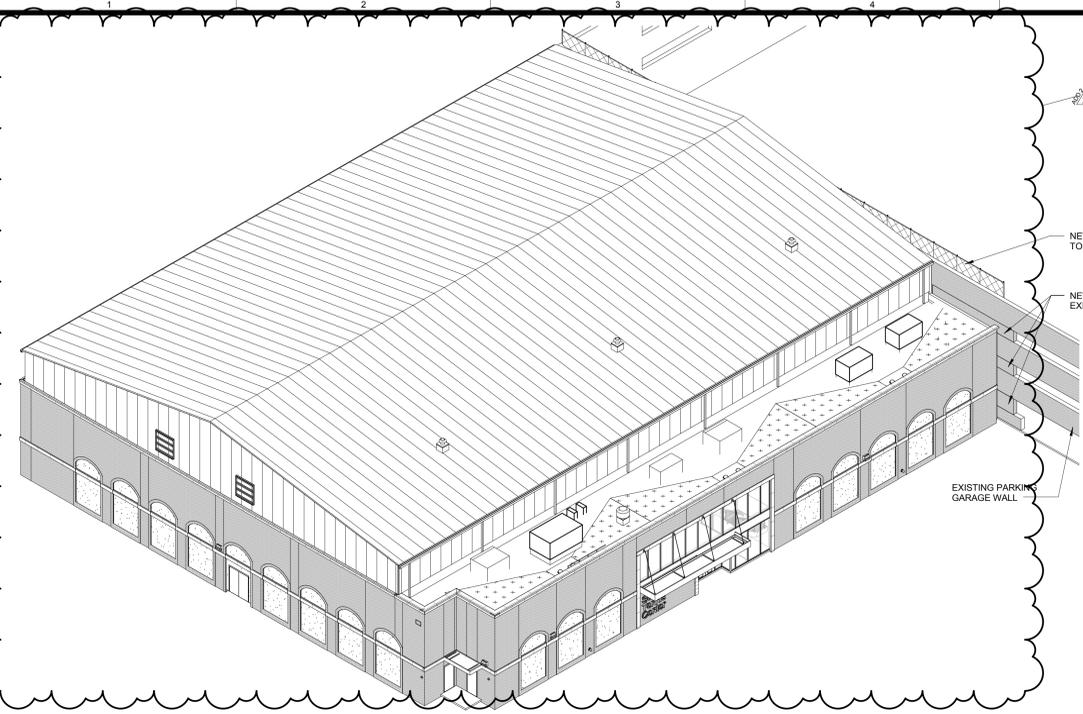
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EXTERIOR MATERIAL LEGEND

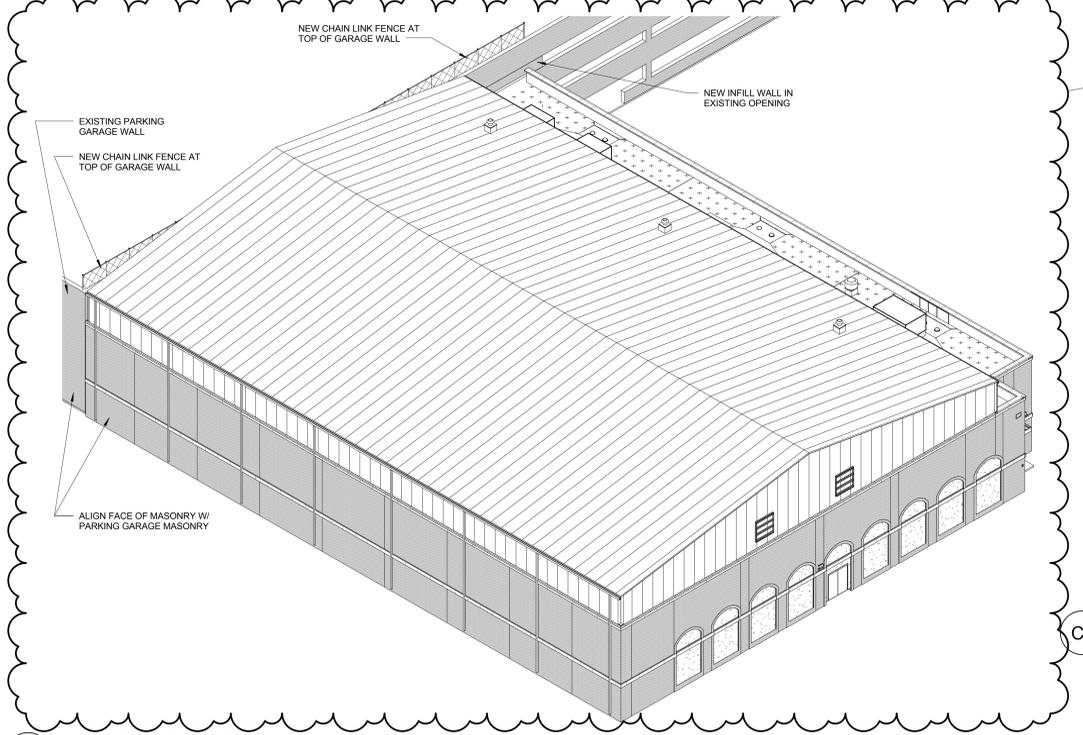
- BK1 BRICK VENEER (TO MATCH ADJACENT PARKING GARAGE)
- CS1 CAST STONE VENEER (TO MATCH ADJACENT PARKING GARAGE)
- MP1 INSULATED METAL WALL PANEL
- MR1 INSULATED METAL ROOF PANEL
- PS1 PORTLAND CEMENT PLASTER VENEER
- PM1 PREFINISHED METAL GUTTER/DOWNSPOUTS (TO MATCH METAL WALL / ROOF PANELS)
- EP1 EXTERIOR METAL DOORS/FRAMES (GUNMETAL GREY)
- AS1 ALUMINUM STOREFRONT SYSTEM (DARK BRONZE)

EXTERIOR ENVELOPE NOTES

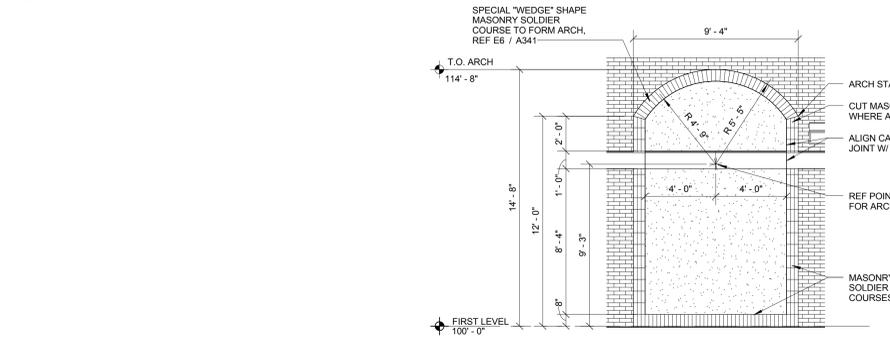
- 1 FIRST FLOOR REFERENCE ELEVATION 100'-0" = 553.00' (553.00' DATUM, REFER TO CIVIL)
- 2 MAINTAIN AIR / VAPOR BARRIER CONTINUITY THROUGHOUT EXTERIOR ENVELOPE. SEAL ALL AIR BARRIER / VAPOR RETARDER SEAMS, JOINTS, PENETRATIONS & TERMINATIONS TO OTHER SUBSTRATES & / OR OTHER AIR / BARRIER / VAPOR RETARDER SYSTEM.
- 3 CURTAIN WALL / STOREFRONT SYSTEMS TO HAVE CLOSED HEAD, JAMB & SILL PROFILES.
- 4 FILL ALL VOIDS AROUND GLAZING SYSTEM PERIMETER WITH MINERAL WOOL INSULATION.
- 5 EXTERIOR STEEL (I.E. RELIEF ANGLES, PLATES, UNITS, ETC.) ARE TO BE GALVANIZED UNLESS NOTED OTHERWISE.
- 6 MEJ - INDICATES MASONRY EXPANSION JOINT LOCATIONS. FOR LOCATIONS NOT SHOWN, PROVIDE JOINTS 3'-4" FROM OUTSIDE CORNERS AND SPACED 20'-0" OC NOMINALLY.
- 7 CONTINUE MASONRY ACCENT SCHEME AT ALL EXTERIOR WALLS, INCLUDING AT ENTRIES, COLUMNS AND WALLS NOT SHOWN ON ELEVATIONS, UNLESS NOTED OTHERWISE.
- 8 REFER TO SHEET A801 FOR ADDITIONAL EXTERIOR FINISHES AND FINISH NOTES.
- 9 REFER TO ROOF PLAN ON A131 FOR DOWNSPOUT, GUTTER, AND ROOF HATCH LOCATIONS.
- 10 STEEL ACCESS LADDERS TO BE GALVANIZED AND PAINTED TO MATCH ADJACENT WALL.



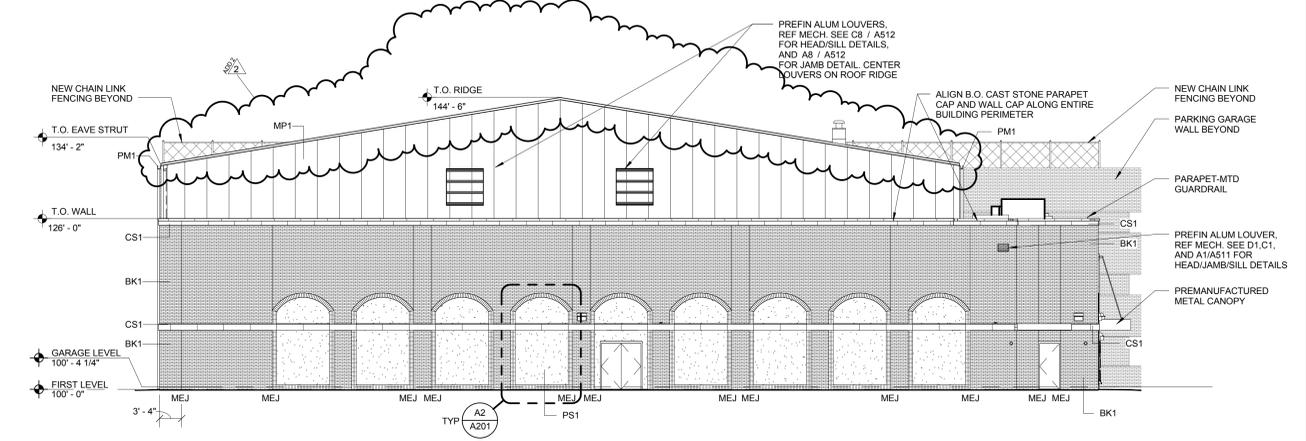
F1 EXTERIOR ISOMETRIC



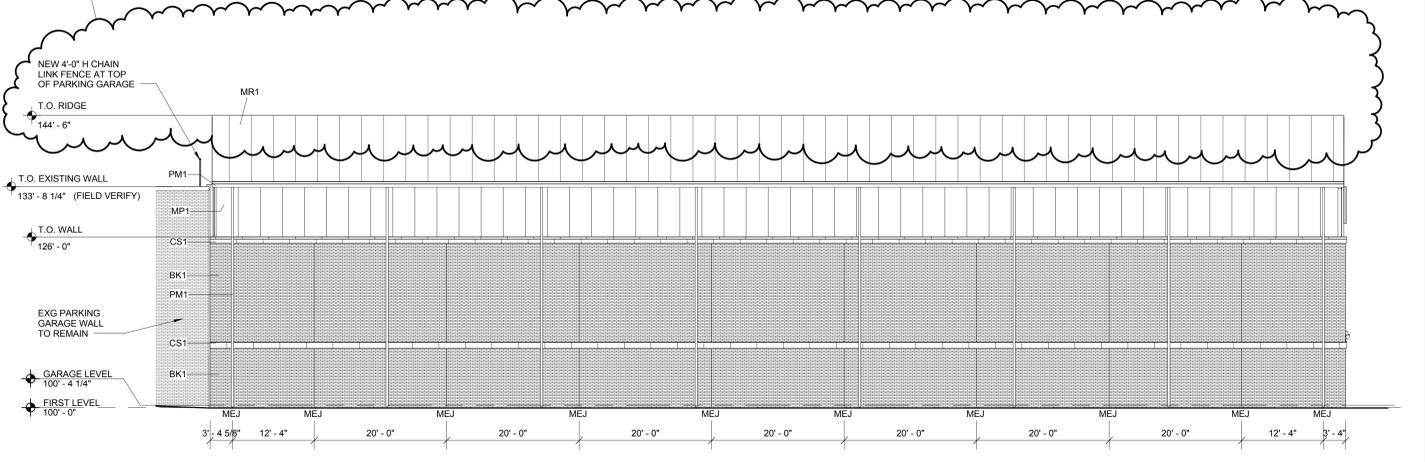
C1 EXTERIOR ISOMETRIC



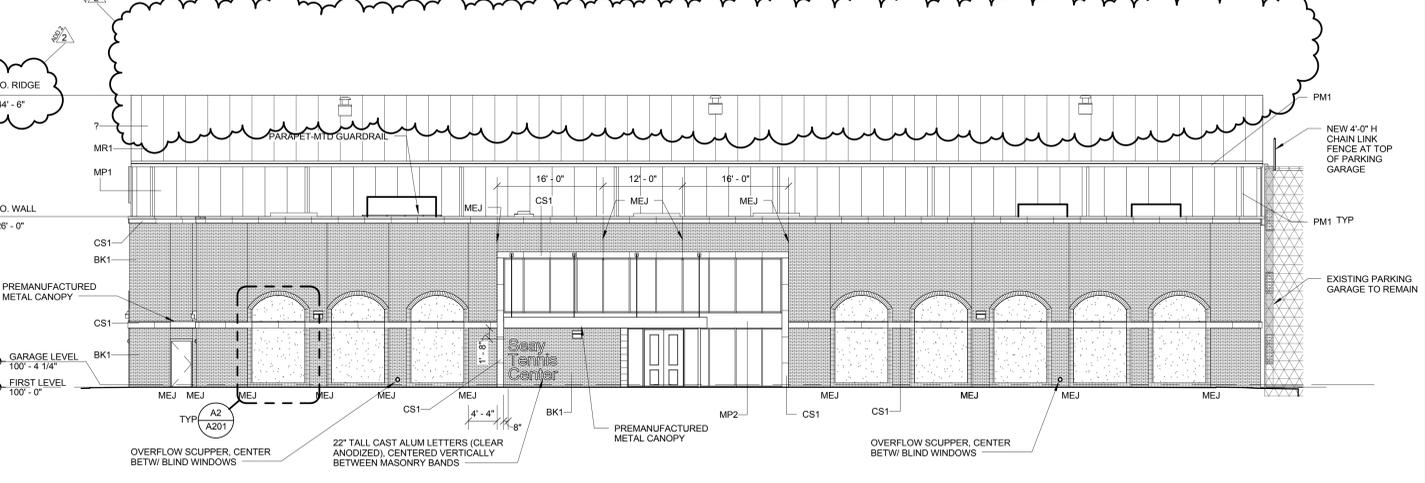
A2 ENLARGED EXTERIOR ELEVATION
1/4" = 1'-0"



E5 EXTERIOR ELEVATION
3/32" = 1'-0"



C5 EXTERIOR ELEVATION
3/32" = 1'-0"



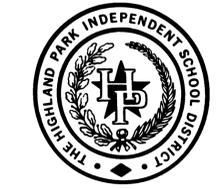
A5 EXTERIOR ELEVATION
3/32" = 1'-0"

Final Plans for Bidding and Construction

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REGISTRATION #18163



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2 2016 12 12 Addendum #2

SHEET TITLE:
EXTERIOR ELEVATIONS

A201
214000411



GENERAL COLOR SCHEDULE NOTES

1. MANUFACTURERS' NAMES AND IDENTIFICATION NUMBERS ARE LISTED AS A MEANS OF ESTABLISHING A STANDARD OF TYPE, FUNCTION, COLOR, AND QUALITY. REFER TO PROJECT MANUAL FOR ADDITIONAL MANUFACTURERS & PROCEDURES.
2. THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT A SAMPLE OF ALL FINISH MATERIALS FOR APPROVAL BEFORE MATERIALS ARE APPLIED ON THE JOB.
3. VERIFY ALL GRAPHICS WITH THE ARCHITECT BEFORE PAINTING. GRAPHICS MAY NEED TO BE ADJUSTED AFTER ENLARGING TO REFLECT THE SAME COMPOSITION AS ON THE DRAWINGS.
4. IF REQUESTED THE ARCHITECT WILL PROVIDE 8 1/2" X 11" CLEAR ACETATE OR MYLAR OF DETAILED MURAL GRAPHICS FOR PROJECTION ON WALL.
5. TERMINATE ALL ACCENT PAINTS & VINYL WALL COVERING ON INSIDE CORNERS ONLY UNLESS OTHERWISE INDICATED.
6. PAINT ALL INTERIOR & EXTERIOR EXPOSED PIPING. VERIFY COLOR W/ ARCHITECT.
7. PAINT ANY VENTS, GRILLES, PIPING, FEC, ETC... SAME COLOR AS ADJACENT WALL.

1. UNDESIGNATED PAINTED GYPSUM BOARD WALLS, SOFFITS AND BULKHEADS TO BE MARK "P1".
2. ALL INTERIOR HOLLOW METAL DOOR AND WINDOW FRAMES SHALL BE PAINTED TO MATCH MARK "P4" (U.O.N.). ALL VISION PANEL FRAMES IN INTERIOR DOORS TO MATCH MARK "P4".
3. ALL INTERIOR HOLLOW METAL DOORS SHALL BE PAINTED TO MATCH MARK "P4".
4. ALL INTERIOR WOOD DOORS & UNASSIGNED WOOD TRIM PIECES SHALL BE MARK "PL1".
5. METAL GUARDRAILS & HANDRAILS (INTERIOR) SHALL BE DESIGN BASIS: VIVA RAILINGS 'BLADE' RAILING SYSTEM WITH PICKET INFILL.
6. ALL MEN'S AND WOMEN'S TOILET PARTITIONS SHALL BE MARK "TP1".
7. ALL COUNTERTOPS SHALL BE MARK "SS1", UON.
8. ALL METAL LOCKERS SHALL BE FINISHED TO MATCH MARK "LK1".
9. ALL WALLS SCHEDULED TO RECEIVE TILE AT RESTROOMS TO BE FULL-HEIGHT PT2.
10. FLOOR TILE IN ALL RESTROOMS SHALL BE PT1.
11. ALL EXPOSED STRUCTURAL STEEL INCLUDING ROOF DECK, JOISTS, GIRDERS, BEAMS AND ANY MISC. STEEL SHALL BE PAINTED MARK "P1". EXPOSED DUCTS, DIFFUSERS AND AIR HANDLING UNITS SHALL BE PAINTED MARK "P1".
12. REFER TO DRAWING A9/A711 FOR TENNIS COURT LINES, COLORS, SIZE AND LOCATION, AND TO DRAWING C9/A711 FOR QUICK START TENNIS COURT LINES, COLORS, SIZE AND LOCATION.
13. PATTERNS AND COLORS FOR AREAS SCHEDULED TO RECEIVE LVT SHALL BE AS REPRESENTED ON SHEET A711 AND A712. UNDESIGNATED LVT TO BE MARK "LVT1".
14. LOW PROFILE TRANSITION STRIPS TO BE PLACED AT ANY FLOORING MATERIAL CHANGE.
15. METAL LOW PROFILE TRANSITION STRIPS TO BE PLACED AT ANY FLOORING MATERIAL CHANGE ADJACENT TO TILE.

1. ALL EXTERIOR STEEL LINTELS SHALL BE PAINTED TO MATCH ADJACENT BRICK.
2. ALL ALUM. WINDOWS & DOOR FRAMES SHALL BE DARK BRONZE; EXTERIOR GLAZING TO BE AS INDICATED ON SHEET A801, TYP.
3. ALL EXTERIOR METAL SHALL BE FINISHED AS FOLLOWS:

DARK BRONZE - ALUMINUM STOREFRONT, ALUMINUM WINDOWS
PM1 - COPING, AND FLASHING NOTED ON THE DRAWINGS.
PM1 - ALL UNDESIGNATED PRE-FINISHED METAL
PM1 - PRE-FINISHED LOUVERS
PM1 - GUTTERS, DOWNSPOUTS, BRACKETS & D.S. BOOTS
EP1 - HOLLOW METAL DOORS AND FRAMES
MATCH ADJ. WALL - ALL EXPOSED COUNTER FLASHING, PIPE SUPPORTS AND OTHER MISC. FLASHING (U.O.N.)
PM - ALL METAL BUILDING SIGNAGE.

NEW SEAY CENTER - MATERIAL LEGEND

MRK	MATERIAL	MANUFACTURER	STYLE	MFR. NO.	COLOR	REMARKS
P1	PAINT	SHERWIN WILLIAMS	-	SW1381	DECOR WHITE	MATCH EXG H.S. WHITE
P2	PAINT (ACCENT)	SHERWIN WILLIAMS	-	-	-	WARM GRAY
P3	PAINT (ACCENT)	PITTSBURGH PAINT	-	549-7	CAVALRY BLUE	MATCH EXG H.S. BLUE
P4	PAINT (INT DOOR FRAMES, LITES)	SHERWIN WILLIAMS	-	-	-	DARK BRONZE - MATCH ALUM STFT
PT1	PORCELAIN FLOOR TILE	FLORIDA TILE	AVENTIS	FTIAT2RA	VELVET (12" X 24")	
PT2	PORCELAIN WALL TILE - FIELD	FLORIDA TILE	AVENTIS	FTIAT2RA	VELVET (12 X 24)	
CT2	CERAMIC WALL TILE - ACCENT	INTERCERAMIC	INTERGLASS SHIMMER	-	STORM (3" X 6")	
GT1	GROUT (WALLS)	LATICRETE	-	88	SILVER SHADOW	
GT2	GROUT (FLOORS)	LATICRETE	-	24	NATURAL GRAY	
CT4	GLAZED TILE - FLOOR: 1/16" GROUT JOINT	CROSSVILLE	SHADES	12X24 - UPS	AV246 ASH	
LVT1	LUXURY VINYL TILE (FIELD)	ARMSTRONG	NATIONAL CREATIONS	-	TP776 ARIA GREY BEIGE	
LVT2	LUXURY VINYL TILE (ACCENT)	ARMSTRONG	NATURAL CREATIONS	-	TP796 ARIA CHARCOAL	
RF1	RESILIENT ATHLETIC FLOORING (WEIGHT ROOM)	MONDO	RAMFLEX	36"X36"	G707 GREY	
RF2	RESILIENT ATHLETIC FLOORING (EXERCISE ROOM)	MONDO	MONDOFLEX II	-	MF11	
RF3	RESILIENT ATHLETIC FLOORING (EXERCISE ROOM)	MONDO	MONDOFLEX II	-	MF25	
TC1	TENNIS COURT SURFACING	NOVASPORTS USA	-	-	BLUE	COMBO SURFACE - CONCRETE
TC2	TENNIS COURT SURFACING	NOVASPORTS USA	-	-	GREEN	COMBO SURFACE - CONCRETE
RB	RUBBER BASE 4" (TYPICAL)	ROPPE	COVE	123	CHARCOAL	
PL1	PLASTIC LAMINATE (DOORS)	PANOLAM	-	-	-	MATCH EXISTING H.S. WOOD DOORS
APC1	ACOUSTICAL PANEL CEILING	ROCKFON	ARTIC	600	WHITE	2'X2'
SS1	SOLID SURFACE MATERIAL (COUNTERTOP)	CORIAN	-	-	DEEP SMOKY PEARL	
LK1	ATHLETIC LOCKERS	LIST INDUSTRIES	VARSITY SINGLE TIER	738	CHARCOAL	15'X16"X72"
HB	HORIZONTAL LOUVER BLINDS	HUNTER DOUGLAS	LIGHTLINES	LL1-830	ALMOND	
TP	TOILET PARTITIONS	SCRANTON	HINY HIDERS - EX	-	BLUEBERRY	
SC1	SEALED CONCRETE FLOOR	-	-	-	-	
BK1	BRICK (FIELD)	ACME	-	-	-	MATCH FIELD BK @ PARKING GARAGE
PS1	PORTLAND CEMENT PLASTER	LAHABRA	-	X-81	OATMEAL	VERIFY W/ ARCHITECT
CS1	CAST STONE	FEATHERLITE	-	-	-	MATCH CAST STONE @ PARKING GARAGE
PV1	BRICK PAVER SYSTEM (HERRINGBONE)	ACME	-	-	-	MATCH BK1
M1	MORTAR (FOR BRICK)	MAPEI	-	-	-	MATCH BK MORTAR @ PARKING GARAGE
M2	MORTAR (FOR CAST STONE)	MAPEI	-	-	-	MATCH CS MORTAR @ PARKING GARAGE
MP1	INSULATED METAL PANEL (RATED WALL)	AWIP	DURANAR XL	IRe	SILVER SHADOW	1-HR RATED 4-1/2" THICK (R-32) PANEL
MR1	INSULATED METAL PANEL (ROOF)	AWIP	DURANAR XL	SR2	SILVER SHADOW	4" THICK (R-32) PANEL
PM1	PREFINISHED METAL (GUTTERS, DOWNSPOUTS)	PITTSBURGH	KYNAR 500	-	MATCH MR1	
PM2	PREFINISHED METAL (METAL CANOPY)	PITTSBURGH	KYNAR 500	-	MATCH MR1	
AS1	ALUMINUM STOREFRONT SYSTEM	KAWNEER	TRIFAB VERSAGLAZE	451T	DARK BRONZE (#40)	
GLZ-1	GLASS	PPG	SOLARBAN 70XL	-	CLEAR	
MS1	METAL SOFFIT PANEL (SMOOTH, 12" X 24GA)	MBCI	ARTISAN SERIES	L12	-	MATCH ALUM CANOPY FINISH
EP1	EXTERIOR PAINT (HM DOORS, FRAMES)	SHERWIN WILLIAMS	KYNAR 500	-	GUNMETAL GREY	

FURNISHING AND EQUIP. GENERAL NOTES

1. ALL FLOOR MOUNTED FIXTURES ARE TO HAVE THE SAME BASE MATERIAL AS THE ROOM THEY ARE IN (TYP.).
2. FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION & INSTALLATION OF ANY FIXTURES (TYP.).
3. ALL COUNTERTOPS TO BE SOLID SURFACE (SS) W/ 4" HIGH BACKSPASH TYP., U.O.N..
4. PROVIDE BUILT-IN RECESSED COMBINATION LOCKS AT ALL LOCKERS, U.O.N..
5. PROVIDE TYPICAL INTERIOR ROOM SIGN AT ALL INTERIOR DOORS, U.O.N.
6. PROVIDE TYPICAL RESTROOM SIGN AT ALL RESTROOM DOORS, U.O.N.
7. PROVIDE MAXIMUM OCCUPANCY SIGN AT EACH TENNIS COURT, U.O.N.

ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	BASE	FLOOR	WALLS	CEILING	REMARKS
FIRST LEVEL						
A101	LOBBY	CT	CT	CT/PNT	VARIES	
A102	STOR	RB	LVT	PNT	APC1	1
A103	WOMEN	CT	CT	CT/PNT	APC2	2
A104	MEN	CT	CT	CT/PNT	APC2	2
A105	STOR	RB	LVT	PNT	APC1	
A106	WEIGHT ROOM	RB	RF	PNT	APC1	
A107	EXERCISE ROOM	RB	RF	PNT	APC1	
A108	VEST	RB	LVT	PNT	APC1	
A108A	IDF	RB	LVT	PNT	APC1	
A109	OFFICE	RB	CPT	PNT	APC1	
A110	OFFICE	RB	CPT	PNT	APC1	
A111	COURT 1	-	TCS	-	EXP	
A112	COURT 2	-	TCS	-	EXP	
A113	COURT 3	-	TCS	-	EXP	
A114	RISER	RB	S CONC	PNT	EXP	
MEZZANINE						
A200	LANDING	-	LVT	PNT	GYP	
A201	MEZZANINE	RB	LVT	PNT	GYP	
A202	ELEC	RB	S CONC	PNT	EXP	

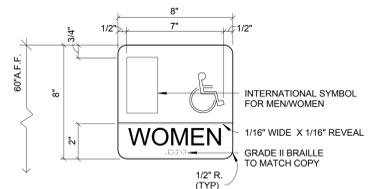
SPECIFIC ROOM FINISH SCHEDULE REMARKS

1. PROVIDE 4X8" VERTICAL FRP PANELS FROM CORNER TO CORNER AT STUD WALLS BEHIND MOP SINKS, TYP.
2. PROVIDE ADA COMPLIANT MARBLE THRESHOLD 2" WIDE W/ CHAMFERED EDGES AT ENTRY DOOR OR FLOORING TRANSITION AT RESTROOMS AND TOILETS.

GENERAL ROOM FINISH NOTES

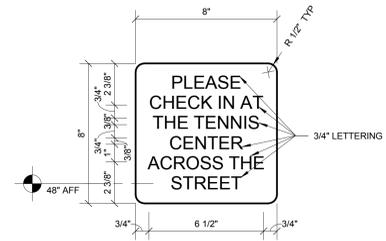
1. (#) IN REMARKS COLUMN OF ROOM FINISH SCHEDULE REFERENCES THE SPECIFIC ROOM FINISH SCHEDULE REMARKS.
2. COORDINATE INTERIOR FINISHES WITH PARTITION TYPES.
3. FLOOR MATERIAL CHANGES BETWEEN ROOMS TO OCCUR UNDER DOOR (UON).
4. PAINT EXPOSED JOISTS, DECK, & ALL MISC. ITEMS, TYP. REFER TO GENERAL COLOR SCHEDULE NOTES ON A801.
5. ALL APC SHALL BE PER THE FOLLOWING GUIDELINES:

APC1 24"x24" STANDARD SIZE AS SPECIFIED
7. REFER TO LIGHTING PLANS & REFLECTED CEILING PLAN SHEETS FOR CEILING GRID LAYOUT & BULKHEAD LOCATIONS (U.O.N.). REFER MEP DOCS.
8. PROVIDE CJs AT GYP. BD. CEILINGS AT 50'-0"OC MAX. (U.O) PROVIDE CJs AT WALLS/BULKHEADS AT 30'-0"OC MAX. (U.O.N.)
9. ALL SUSPENDED GYP. BD. TO BE PAINTED. REFER REFLECTED CEILING PLANS AND GENERAL COLOR SCHEDULE NOTES ON A801.
10. SEE FLOOR PATTERN PLANS FOR EXTENTS AND TYPE OF FLOORING FINISHES.
11. REFER TO REFLECTED CEILING PLANS FOR CEILING HEIGHTS, TYP.



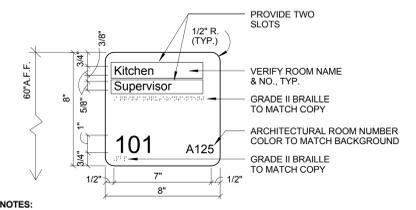
- NOTES:**
1. ALL COPY TO BE HELVETICA REGULAR.
 2. ALL COPY SHALL BE RAISED 1/32" MIN.
 3. COPY STROKE WIDTH TO BE 3/16" WIDE MIN.
 4. SIZE OF COPY MAY BE ADJUSTED; HOWEVER, LETTERS MAY NOT BE LESS THAN 5/8" HIGH.
 5. SIGN FACE & BACK SHALL BE PLASTIC LAMINATES, AS SELECTED BY ARCHITECT. SIDES OF SIGN SHALL BE PAINTED TO MATCH SIGN FACE. COPY TO BE PAINTED WHITE.
 6. PROVIDE (1) SIGN AT EACH TENNIS COURT. COORDINATE LOCATION WITH ARCHITECT.

C7 TYPICAL RESTROOM SIGN - TYPE 'B'
1:1



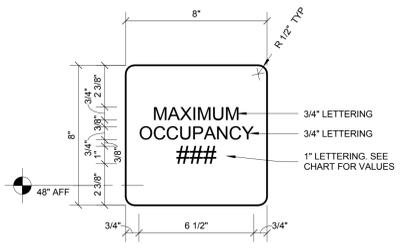
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 6. PROVIDE (1) SIGN AT EACH TENNIS COURT. COORDINATE LOCATION WITH ARCHITECT.

C9 DIRECTIONAL SIGN - TYPE 'A'
3" = 1'-0"



- NOTES:**
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 6. PROVIDE (1) SIGN AT EACH TENNIS COURT. COORDINATE LOCATION WITH ARCHITECT.

A7 TYPICAL INTERIOR SIGN
1:1



ROOM	MAX OCCUPANCY
COURT 1	24
COURT 2	24
COURT 3	24

- NOTES:**
1. ALL COPY TO BE HELVETICA REGULAR.
 2. ALL COPY SHALL BE RAISED 1/32" MIN.
 3. COPY STROKE WIDTH TO BE 3/16" WIDE MIN.
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 6. PROVIDE (1) SIGN AT EACH TENNIS COURT. COORDINATE LOCATION WITH ARCHITECT.

A9 MAXIMUM OCCUPANCY SIGN
3" = 1'-0"

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF UNIVERSITY PARK, TEXAS, APPROVING ADDITION OF A TRACT OF _____ SQUARE FEET (0. ACRE) DESCRIBED AS LOTS 7-10, BLOCK 5, PRESTON HEIGHTS ADDITION AND A PORTION OF THE RIGHT-OF-WAY OF GLENWICK LANE (TO BE ABANDONED) TO PLANNED DEVELOPMENT DISTRICT 25 “PD-25”; APPROVING AN AMENDED DETAILED SITE PLAN FOR A PORTION OF PD-25 FOR THE HIGHLAND PARK HIGH SCHOOL; AUTHORIZING ADDITION OF AN INDOOR TENNIS CENTER; PROVIDING SPECIAL CONDITIONS; PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE.

DULY PASSED by the City Council of the City of University Park, Texas, on the _____ day of _____ 2017.

APPROVED:

MAYOR

ATTEST:

CITY SECRETARY