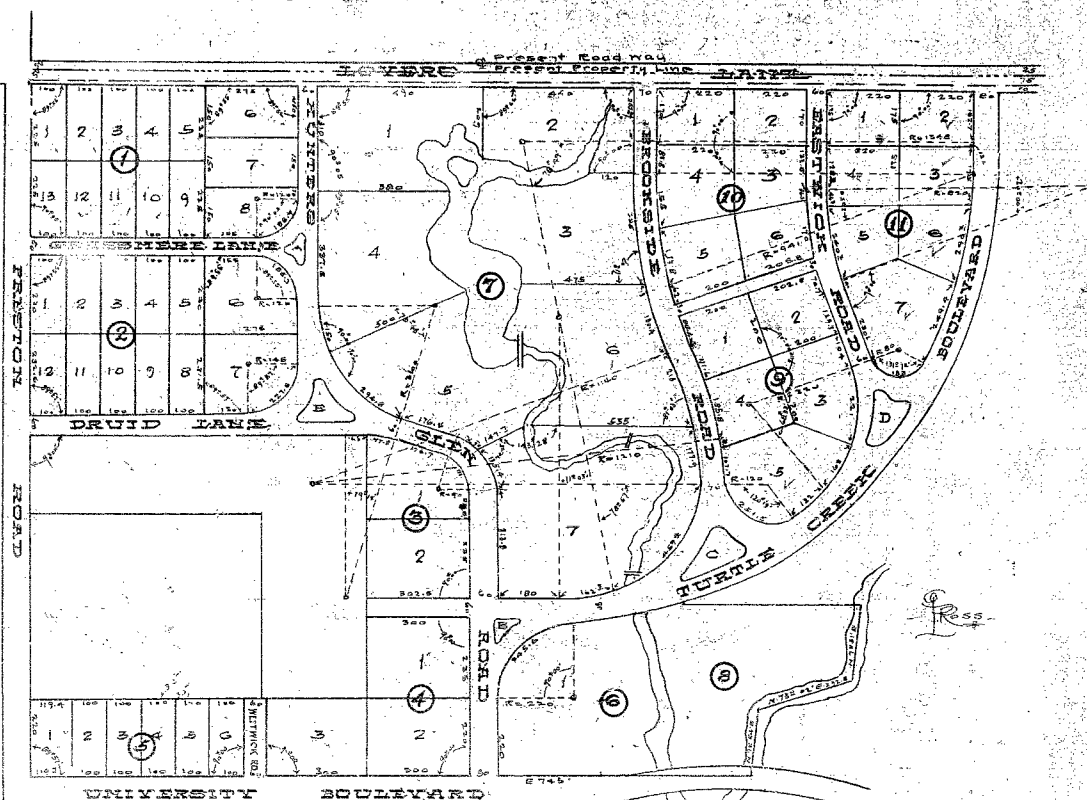


**REVISED PLAT OF
UNIVERSITY PARK ESTATES**
Scale 3/4" = 1"

Sec. 1831-95 Official Plat of Dallas County, Texas



56040.....5

UNIVERSITY PARK ESTATES: STATE OF TEXAS : WHEREAS, the undersigned, Mrs. Bama Adams, a widow, R.H. Shuttles, J. N. Townsend, E. W. Rose, and S. W. Rose on July 10th, 1920, in the Map and Plat Records of Dallas County, Texas, shown on the plat filed by S. J. Adams and wife, Nettie C. Adams, recorded in Volume 2, pages 123-4 of the Map and Plat Records of Dallas County, Texas.

WHEREAS it is now desired by the undersigned, who are the present owners of respective tracts of said land, to make certain changes in said map, changing the location of certain streets shown thereon, and to file a new map of said tract of land to be known as "Revised Map of University Park Estates", therefore

KNOW ALL MEN BY THESE PRESENTS, that, we, Mrs. Bama Adams, a widow, R. H. Shuttles, J. N. Townsend, E. W. Rose, W. S. Caruth, Methodist University, and the Dallas Trust & Savings Bank, do hereby adopt the within map and plat as the "Revised Map of University Park Estates", and we do hereby dedicate the streets and alleys therein shown to the public forever; and we also dedicate to the public for park purposes the plots of land shown on said revised map at the intersection of streets lettered on said map "A", "B", "C", "D", AND "E".

This map is also intended as an amendment to the revised map of Blocks 13, 14, and 15 of University Park Addition, map of which recorded in Volume 2, page 14, of the Map Records of Dallas County, Texas.

In dedicating this map it is hereby contracted and agreed by all parties hereto as follows:

- (1). That the property shown on this revised map shall be used for residence purposes only.
- (2). That said property shall be used by white persons only, and none of same shall ever be sold, leased, or rented to any negro, but this shall not prevent the use of bona fide servants of any race.
- (3). The following restrictions shall apply to the respective lots in the blocks shown on said map, to-wit:
 BLOCK ONE: No residences shall be built on Lots 1-5 inclusive, and 9-13 inclusive, which shall cost less than \$5000.00, and are nearer than 40 feet to the front property line. No residence shall be built on Lots 6, 7, and 8 of this block to cost less than \$5000.00, and same must be built of brick, stone, tile, concrete or some fireproof substance, and no residence shall be built on any lot nearer than 60 feet to the front property line, and no out-houses nearer than 60 feet to the rear end of said lots.
 BLOCK TWO: No residence shall be built on any of Lots 1-5 inclusive, or 9-13 inclusive to cost less than \$5000.00, and nearer than 40 feet to the front PROPERTY LINE; and shall front on street as indicated on map. No residence shall be built on these lots that cost less than \$10,000, and not nearer the front property line than sixty (60) feet, and must face on HUNTER STREET.
 BLOCK NO. 3: No out-houses shall be built nearer the rear end of these lots than sixty (60) feet.
 BLOCK NO. 4: Lots 1 and 2- No residence shall be built on these lots that cost less than \$15,000, and must be built of brick or some fire-proof substance, and shall not be built nearer the front property line than sixty feet, nor nearer than forty (40) feet. Nor shall any out-houses be built nearer the rear end of these lots than sixty (60) feet.
 BLOCK NO. 5: No residence shall be built on these lots that cost less than \$15,000, and must be built of brick or fire-proof substance, and shall not be built nearer the front property line than sixty (60) feet nor nearer than forty (40) feet, or nearer University Boulevard than sixty (60) feet, and must face on Hunter Glen Road, as indicated on map. No residence shall be built that does not cost as much as \$15,000, must be of some fire proof construction, and shall not be built nearer University Boulevard than sixty (60) feet, and must face on Hunter Glen Road, as indicated on map.
 BLOCK NO. 6: Lots 1-5 inclusive. No residence shall be built that does not cost as much as \$15,000, must be of some fire proof construction, and shall not be built nearer University Boulevard than sixty (60) feet, and must face on Hunter Glen Road, as indicated on map.

indicated on map, and not nearer the front line than sixty (60) feet.

BLOCK NO. 6; No residence shall be built in this block costing less than \$15,000 and shall face on TURTLE CREEK BOULEVARD. No residence

house shall be built nearer University Boulevard than sixty (60) feet nor Hunter Glen Road than sixty (60) feet.

NO. 7; No residence shall be built on lots 1, 4 or 5 to cost less than \$15,000 and must be built of brick, stone, tile, concrete or fire proof substance, not nearer the front property line than fifty (50) feet, and shall face on Hunter Glen Road and shall not be nearer the side line of said lot than sixty (60) feet. No more than two residences shall be allowed on any one of the said lots. The owner of lot No. 1 has the privilege of building one residence facing Hunter's Glen Road and one facing Lover's Lane. No residence shall be built on lots 2 and 3 to cost less than \$15,000 and must be built of brick, stone, concrete or some fire proof substance, and no more than two houses shall be built on any one lot as indicated on said plat, nor nearer the front property line than sixty (60) feet. All of said houses shall face Brookside Road, but the owner of Lot No. 2 may build one house facing on Lover's Lane, and one on Brookside Road.

BLOCK 8; No residence shall be built in this block costing less than \$10,000 or nearer the lines of University Boulevard or Turtle Creek Boulevard than sixty (60) feet. No residence shall be built on Lots 5 and 7 to cost less than \$15,000.00, and shall be built not less than 60 feet off of the front property line.

BLOCK NINE No residence shall be built on Lots 1 or 4 of this block to cost less than \$10,000.00 and same must be built of brick, stone, tile, concrete, or some fire proof substance. No residence shall be built on Lot 5 costing less than \$15,000.00, and same must be built of brick, stone, tile, concrete, or some fire proof substance. No residence shall be built on Lots 2 or 3 costing less than \$7500.00. The residences on Lots 1 and 4 shall face Brookside Drive, and shall be not nearer than 60 feet to the front property line, and no more than one residence shall be built on one lot. Residences on Lots 2 and 3 shall be not less than 60 feet from the front property line and shall face Eastwick Road, and no more than one residence shall be built on each Lot, and same shall not be nearer the side lines than 20 feet.

BLOCK TEN No residence shall be built on Lots 1, 4 or 5 to cost less than \$10,000.00 and shall face on Brookside Drive, and shall be built of brick, stone, tile, concrete, or some fire-proof substance, and shall be not nearer than 60 feet to the front property line, and the residence on Lot 3 shall be not nearer to Lover's Lane than 60 feet, and the residences on Lots 4 and 5 shall be not nearer the side lines of said lots than 20 feet. No residence shall be built on Lots 2, 3 or 6 to cost less than \$7500.00, and shall be not nearer the front property line than 60 feet and must face, on Eastwick Road. No residence shall be built nearer Lover's Lane on Lot 2 than 60 feet, and no more than one residence shall be built on each lot.

BLOCK ELEVEN No residence shall be built on Lots 1, 4, or 5 to cost less than \$6000.00, and shall not be built nearer the front property line than 60 feet, and no more than one house to each lot, and same shall face Eastwick Road. The residence on Lot 1 shall not be nearer to Lover's Lane than 60 feet, and no residence shall be built of Lots 1, 4 and 5 nearer than 20 feet to the side lines of said lots. No residence shall be built on Lot 7 costing less than \$10,000.00, and must be built of brick, stone, tile, concrete, or some fire-proof substance, and must set back at least 60 feet from the intersection of Eastwick Road and Turtle Creek Boulevard, and not nearer than 60 feet to the front of said lines. No residence shall be built on Lots 2, 3, or 6 to cost less than \$7500.00, and shall face Turtle Creek Boulevard and shall not be built nearer the front line of said lots than 60 feet, nor nearer the side lines than 20 feet, and no residence shall be built on Lot 2 nearer to Lover's Lane than 60 feet.

(4). These restrictions shall be binding on each of the parties hereto, their heirs and assigns, for a period of twenty five (25) years, and any violation of these restrictions within said time, shall cause said property to immediately revert to the present owners of the respective tracts of land, but nothing herein shall effect or impair any mortgage given in good faith upon any of said property.

WITNESS OUR HANDS at Dallas, Texas, this 21st day of June A.D. 1921.

Attest: (C.S.)

A. D. Schnessle,
Secretary.

Attest: (C.S.)

Chas O. Austin
Secretary.

Mrs. Bama Adams

R. H. Shuttles

W. W. Caruth

E. W. Rose

J. N. Townsend

SOUTHERN METHODIST UNIVERSITY
By H. A. Boaz...President.

DALLAS TRUST & SAVINGS BANK

By S. A. Temple.

Vice-President.

CITY OF WASHINGTON :

DISTRICT OF COLUMBIA:

BEFORE ME, the undersigned authority on this day personally appeared Mrs. Bama Adams, a widow, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL THIS 21st day of June A.D. 1921.

J. H. Snyder

Notary Public, City of Washington, D.C.

STATE OF TEXAS :

COUNTY OF DALLAS:

BEFORE ME, the undersigned authority, on this day personally appeared R. H. Shuttles, J. N. Townsend, E. W.

Caruth and W. W. Caruth, known to me to be the persons whose names are subscribed to the foregoing instrument, and acknowledged to me that they executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this 2nd day of July A.D. 1921.

M. M. Garrett

Notary Public, Dallas County, Texas.

STATE OF TEXAS :

COUNTY OF DALLAS:

BEFORE ME, the undersigned authority, on this day personally appeared H. A. Boaz President of Southern Methodist University, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this 28 day of June A.D. 1921.

Mrs. M. E. Anderson

Notary Public, Dallas County, Texas.

THIS

DALLAS:

BEFORE ME, the undersigned authority, on this day personally appeared S. A. TEMPLE, Vice President of the

Savings Bank, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the 2nd day of JULY A.D. 1921.

M. M. Garrett

Notary Public, Dallas County, Texas.

1921, at 12:00 o'clock M. W. P. Skiles County Clerk

W. P. Skiles County Clerk by

DEPUTY.