

3220 Daniel Avenue

02 February 2018, issued for review

PROJECT DIRECTORY

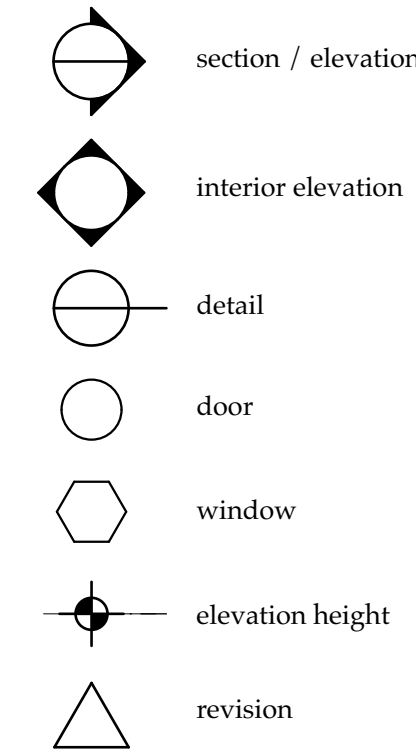
project location:
3220 Daniel Avenue
University Park, Texas 75205

contractor:

architect:
William S. Briggs
5646 Milton Street, Suite 727
Dallas, Texas 75206
214.696.1988
williamsbriggs.com

structural engineer:

SYMBOL LEGEND



AREA CALCULATIONS:

1st Floor A/C (existing)	1,550 sq.ft.
2nd Floor A/C (existing)	1,550 sq.ft.
Total A/C	3,100 sq.ft.
Front Porch	130 sq.ft.
Back Porch	266 sq.ft.
Balcony	65 sq.ft.
Total Under Roof	3,561 sq.ft.

COVERAGE CALCULATIONS:

Total Lot Area	6,892 sq.ft. (as measured)
Building Footprint	1,745 sq.ft.
Driveway Paving (excluding driveway paving in front yard)	1,567 sq.ft.
Walkway Paving/ Concrete Pads	524 sq.ft.
Total Covered Area	3,836 sq.ft.
Allowable Coverage	6,892 sq.ft. x 60% = 4,135 sq.ft.
Remaining Coverage	4,135 sq.ft. - 3,836 sq.ft. = 299 sq.ft.

COVERAGE CALCULATIONS (within rear 50% of lot) :

Rear 50% of Lot Area	3,446 sq.ft.
Building Footprint	664 sq.ft.
Available Coverage	1,723 sq.ft.
Remaining Coverage	1,723 sq.ft. - 664 sq.ft. = 1,059 sq.ft.

COVERAGE CALCULATIONS (front yard) :

Front Yard Lot Area	1,704 sq.ft. x 50% = 852 sq.ft.
Covered Area	830 sq.ft.
Available Coverage	852 sq.ft.
Remaining Coverage	852 sq.ft. - 830 sq.ft. = 22 sq.ft.

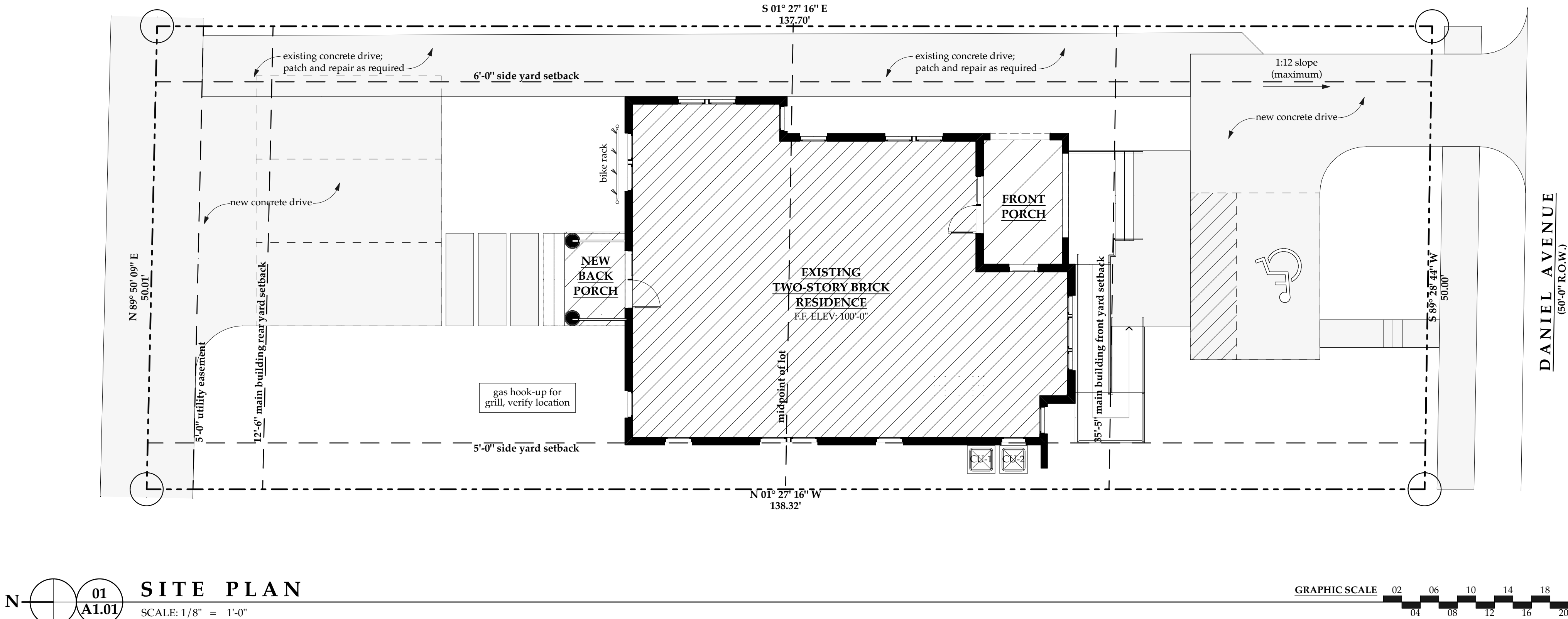
GENERAL NOTES

- Before proceeding with the work, the contractor shall verify all dimensions in the field and notify the Architect of any discrepancies between the drawings and the actual field conditions.
- The dimensions shown on the drawings are to face of framing, centerline of structure, or object as indicated on the drawings unless noted otherwise.
- Do not scale drawings; written dimensions govern. Large scale drawings govern over small scale details. Notify Architect of any discrepancies.
- All work to be done in a professional workmanlike manner and in accordance with the city codes and all other state and local codes that have authority over this project.
- When required, the contractor shall consult an arborist for preservation of trees both during and after construction.
- All interior materials and finishes shall be as selected and approved by the Architect.
- The contractor shall obtain and pay for all permits, inspection fees, and deposits required for the installation of all work. It shall be the contractor's responsibility to call for local inspections and obtain approval from the city inspectors.
- The contractor shall give all notices and comply with all laws, ordinances, rules, regulations, and lawful orders of any public authority bearing performance of the work.
- Unless otherwise provided in the contract documents, the contractor shall provide and pay for all labor, materials, equipment, tools, construction equipment, machinery, transportation and other facilities and services necessary for proper execution and completion of the work.
- All spoils of excavation (piers, footings, trenches, etc.) not reused shall be legally disposed of by the contractor. The contractor shall not store building materials, stage construction operations from, nor gain access to the construction site over adjacent properties.
- After the foundation has been formed, prior to the pouring of concrete, the contractor shall provide an accurate survey performed by a registered surveyor or a registered engineer showing the location of the forms on the lot and their relationship to the property lines, setbacks, easements, and other relevant structures including, but not limited to existing and/or adjoining structures, retaining walls, and large or significant vegetation.
- Contract drawings and specifications represent finished structure. They do not indicate method of construction. Contractor shall provide all measures necessary to protect structure and personnel during construction. Such measures shall include, but not be limited to: bracing, shoring of loads due to construction equipment, excavation protection, scaffolding, job site safety, etc. Observation visits to the site by the Architect, owner, or engineer shall not include inspection of above items.
- It is the responsibility of the contractor to supervise and coordinate various trades on building site to allow sufficient room for all equipment.
- The typical interior wall construction is to be 5/8" Type X gypsum wall board on No. 2 (or better) kiln dried southern yellow pine 2x studs at 16" o.c. maximum. All tub and shower enclosures shall receive cementitious backer board. Where indicated, provide mass-loaded vinyl or batt sound insulation.
- There shall be no oriented strand board (osb), chip board, or fiberboard (mdf, hdd) allowed in the construction of this project.

- If requested, floor flatness testing shall be provided by an independent consultant. Contractor shall coordinate.
- On-site and off-site utilities are indicated in the civil engineering drawings and MEP drawings if provided. The Contractor shall review these drawings before starting any work. Field verify existing utility conditions and notify the Architect of any discrepancies between the drawings and the actual field conditions before proceeding with the work.
- No water heaters, or HVAC equipment shall be located in any attic space without prior review and approval of the Architect. All plumbing lines shall be wrapped in insulation.
- No electrical equipment, lighting fixtures or other miscellaneous electrical items shall be ordered, purchased, or installed without the prior, written approval of the Architect.
- All weld burns, scratches, etc. on all structural steel and metal deck shall be properly cleaned and repainted. No welding is to be performed after 2:00 PM.
- All piping, conduit, etc. run on the exterior face of the building shall be painted to match the adjacent surface.
- All exterior doors shall receive weather stripping and rain drips unless specifically noted otherwise within the contract documents.
- Penetrations through walls or ceilings noted to be fire rated partitions shall be fire safed and sealed as required to maintain the rating of the wall. Ductwork penetrations through rated assemblies shall be provided with an appropriately rated fire damper.
- All wood blocking to be fire retardant treated. All wood in contact with masonry or concrete to be pressure treated.
- The contractor shall provide explosive gas leak detectors.
- The contractor shall provide lightning protection systems.
- The contractor shall provide water leak detectors with automatic shut-off valve. Provide DynaQuip WaterCop (or Architect approved equivalent) with freeze detection sensor.
- Exterior wall faucets (hose bibbs) to be freeze and frost resistant. Provide Woodford Manufacturing Model 16 freezeless wall faucet (or Architect approved equivalent) at each location and install per manufacturer's instructions.
- To the extent practicable, the contractor shall perform all work as prescribed in these drawings and by the accompanying written manual in complete compliance with all applicable Codes and Ordinances and according to the tenets of good practice.
- These drawings and any accompanying written manual, provided by the Architect, are to be considered as one; whatever is called for by one shall be as binding as called for by all. Where the drawings and written manual disagree the better quality or greater quantity of the work or materials shall be estimated upon, and unless ordered by the Architect and Owner in writing, shall be performed or furnished. Should discrepancies or doubt occur, the contractor shall not proceed with the work without written clarification from the Architect and Owner.
- These drawings and any accompanying written material, the intellectual property contained therein, and any and all reproductions of these documents are the sole property of William S. Briggs, Architect, PLLC. No reproductions may be made or transmitted without the express permission of William S. Briggs, Architect, PLLC.

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cover sheet, general
notes, site plan

A1.01

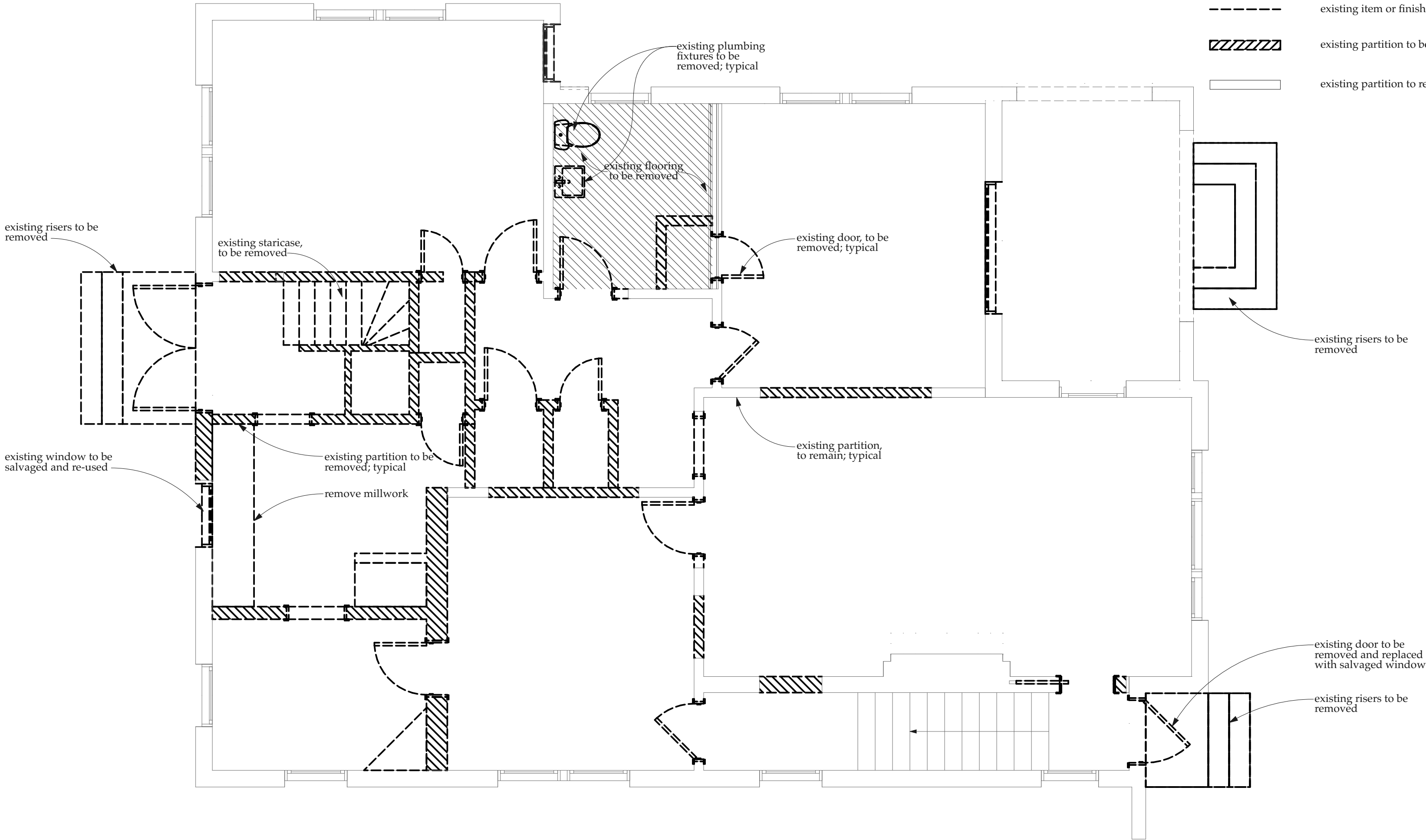
job # 1752

GENERAL DEMOLITION NOTES

- 1. contractor to barricade and protect all existing trees within the construction zone.
- 2. comply with EPA regulations and hauling and disposal regulations of authorities having jurisdiction.
- 3. if required, conduct selective demolition so Owner's operations will not be disrupted.
- 4. if materials suspected of containing hazardous materials are encountered, do not disturb; notify Owner to remove hazardous materials under separate contract.
- 5. before proceeding with demolition, provide temporary service / systems that bypass area of selective demolition and maintain continuity of service / systems to other parts of the building if required.
- 6. locate, identify, shut off, disconnect, and cap off utility services and mechanical / electrical systems serving areas to be selectively demolished.
- 7. salvage and reuse windows, brick, flooring, and other materials deemed salvageable by Owner as required.
- 8. provide and maintain shoring, bracing, and structural supports as required to preserve stability and prevent movement, settlement, or collapse of construction and finishes to remain or construction being demolished.
- 9. provide temporary weather protection to prevent water leakage and damage to structure and interior areas.
- 10. protect walls, ceilings, floors, and other existing finish work that are to remain. erect and maintain dustproof partitions. cover and protect furniture, furnishings, and equipment that have not been removed.
- 11. neatly cut openings and holes plumb, square, and true to dimensions required. use cutting methods least likely to damage construction to remain or adjoining construction.
- 12. promptly remove demolished materials from Owner's property and legally dispose of them.
- 13. due to the inherent inaccuracies of reproduction, do not scale drawings.

LEGEND:

- existing finished surface to be removed
- existing item or finish to be removed
- existing partition to be removed
- existing partition to remain



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first floor plan - demolition

A2.11

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5646 Milton Street, Suite 727
Dallas, Texas 75206
williamsbriggs.com
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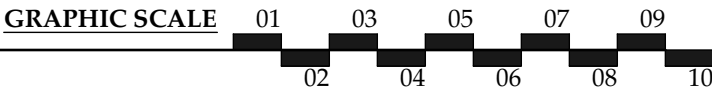
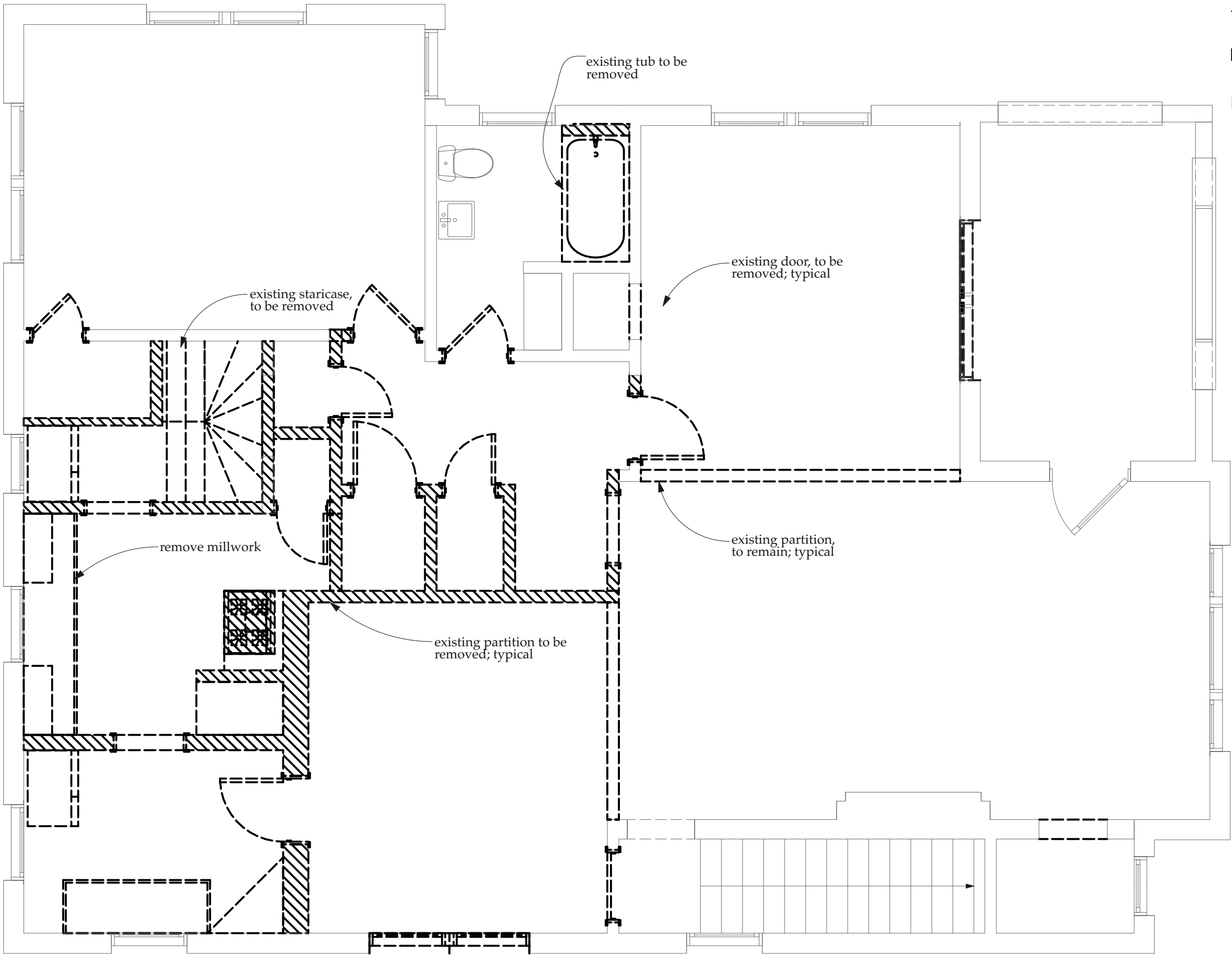
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LEGEND:

- |||||

existing finished surface to be removed
- existing item or finish to be removed
- ////

existing partition to be removed
- existing partition to remain



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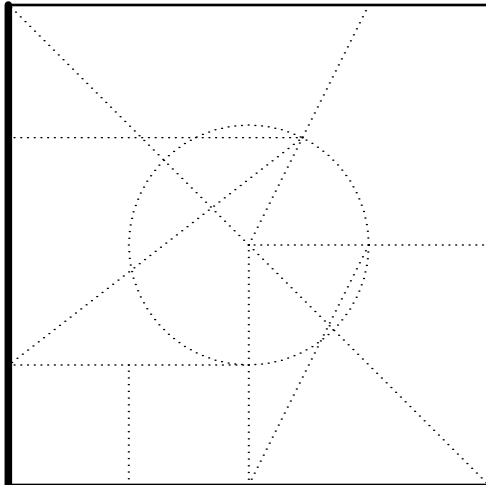
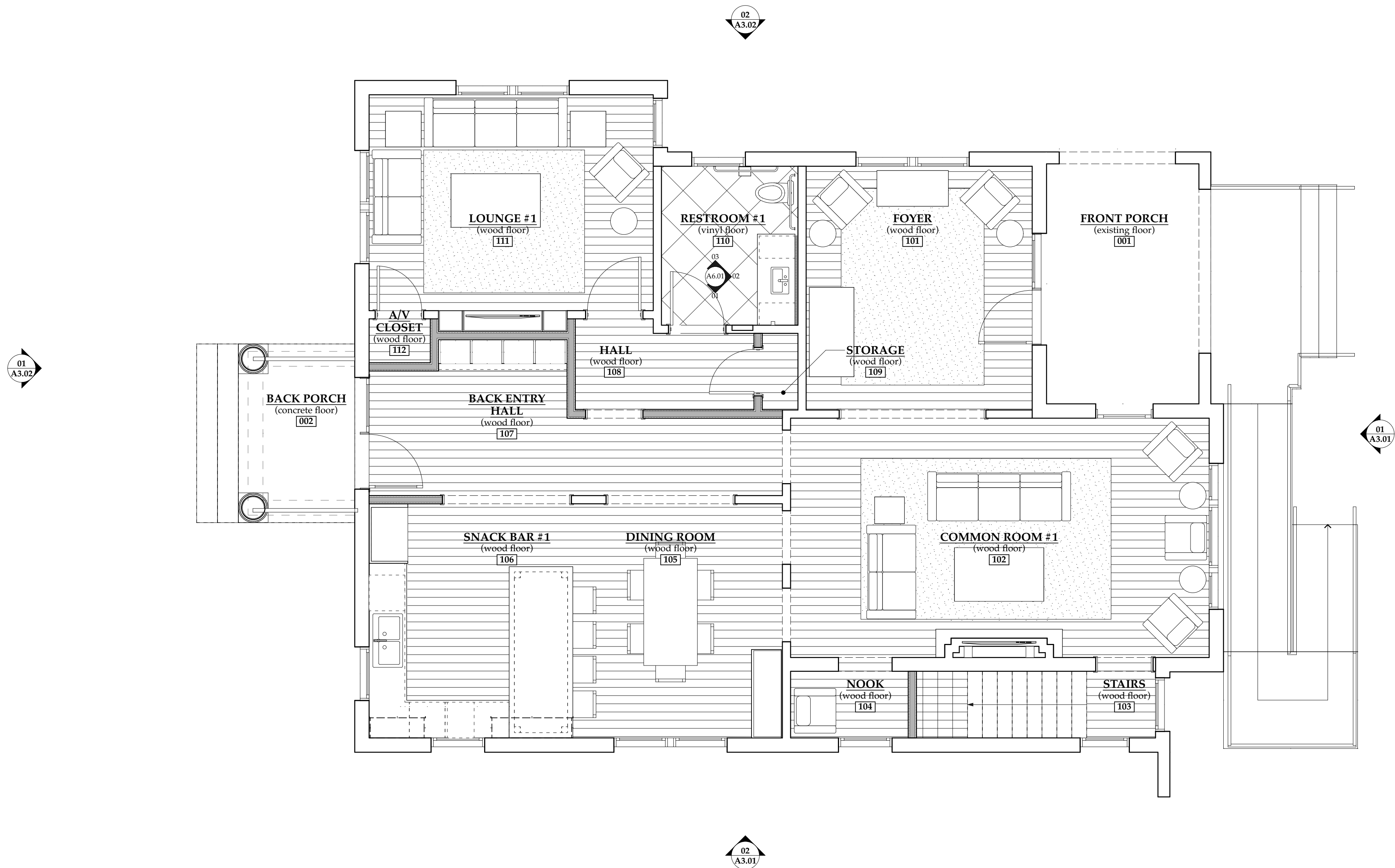
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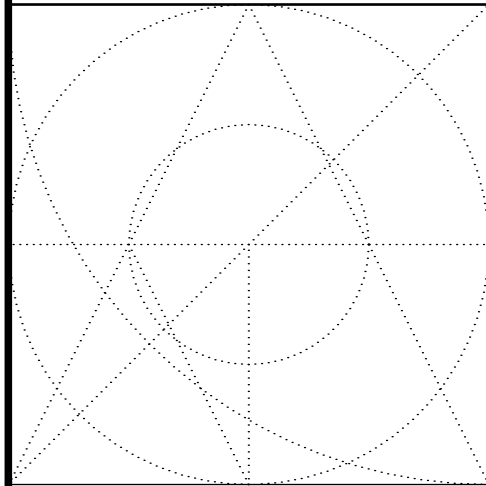
second floor plan -
demolition

A2.12

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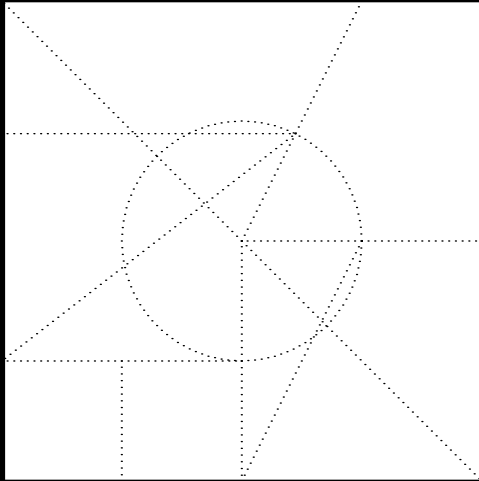
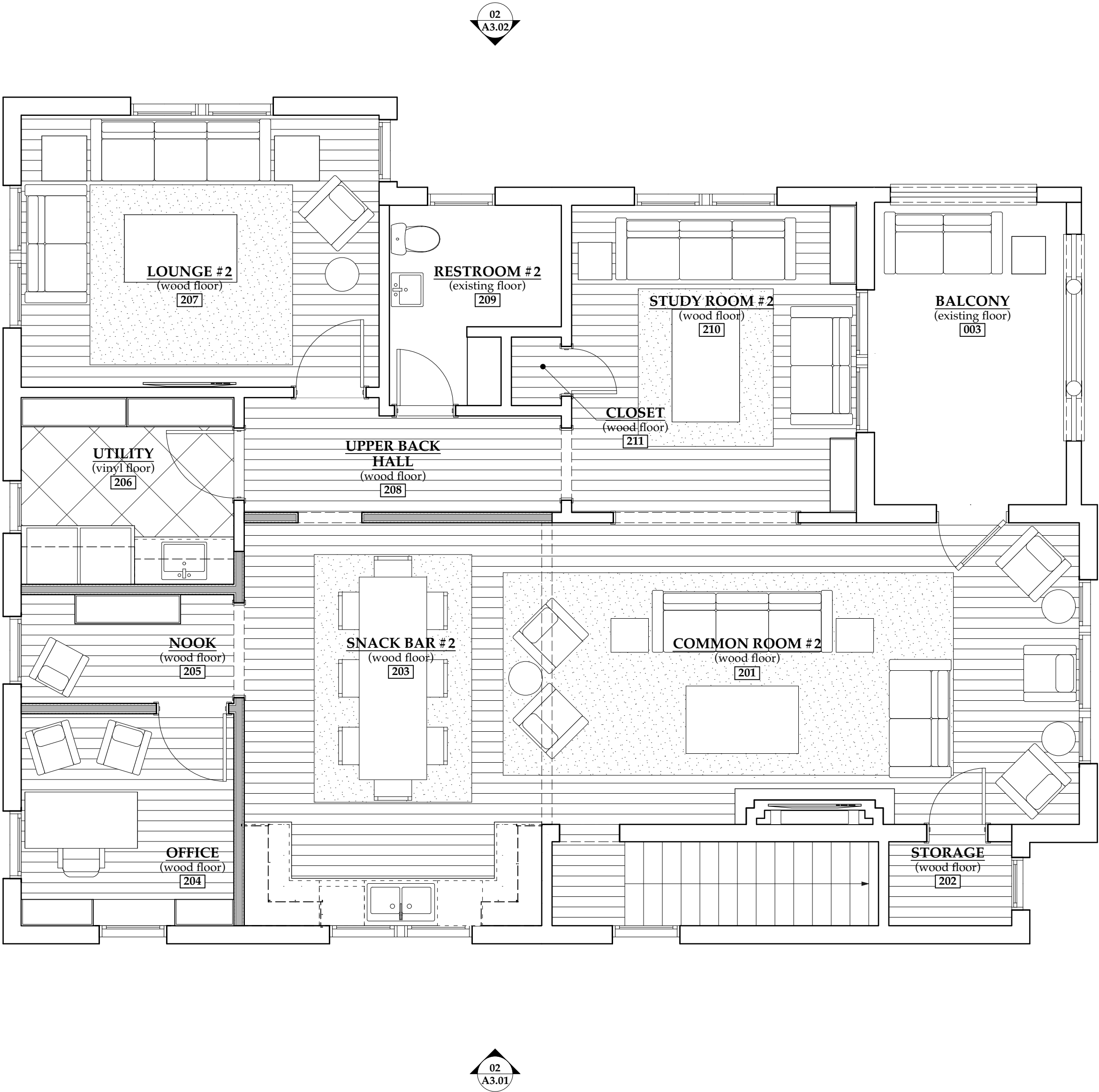
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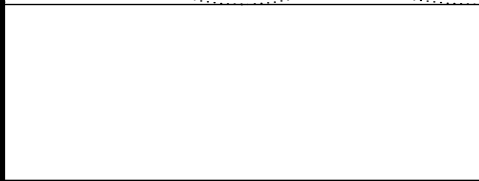
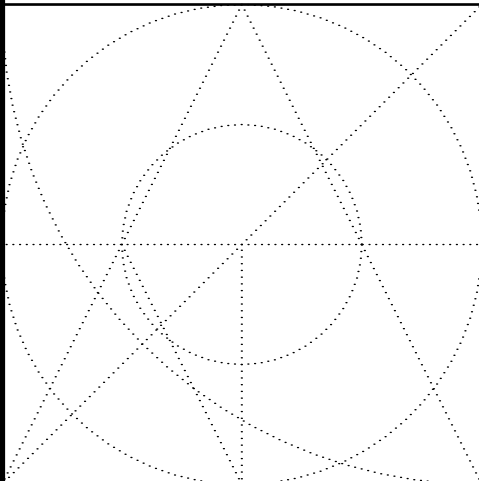
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first floor finish plan

A2.23
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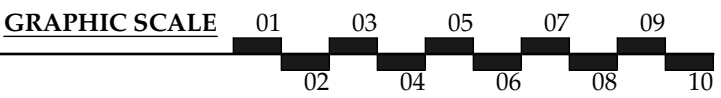
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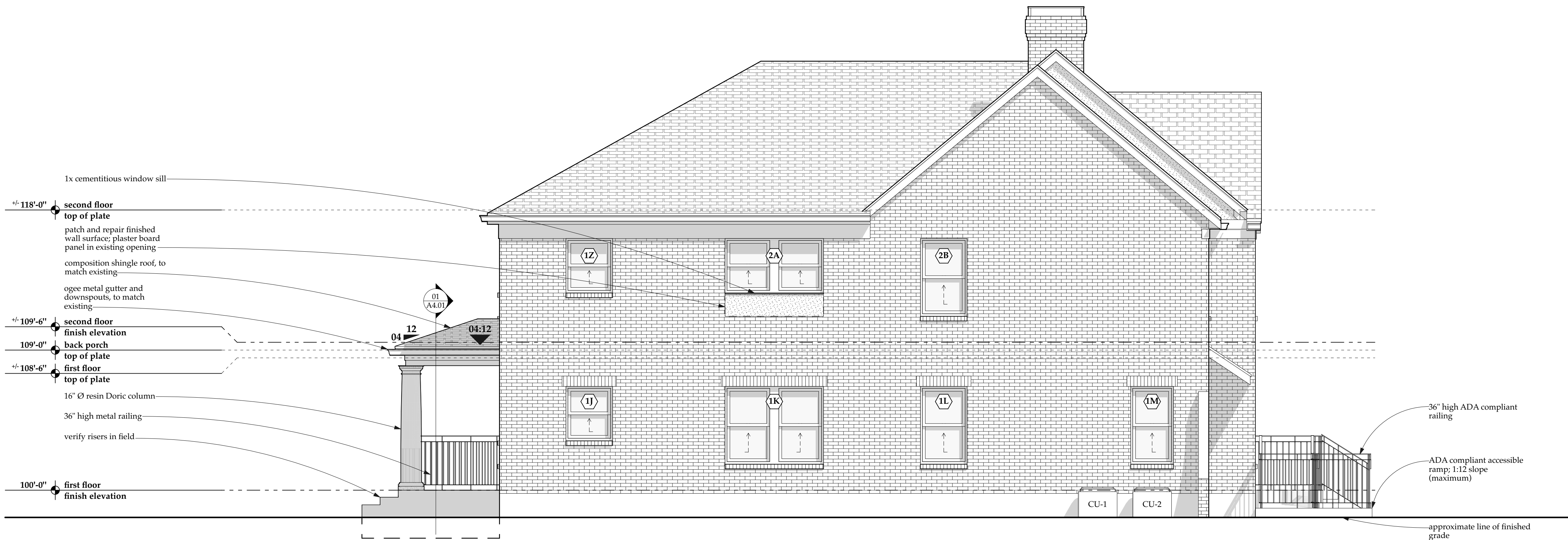
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second floor finish
plan

A2.24

job # 1752

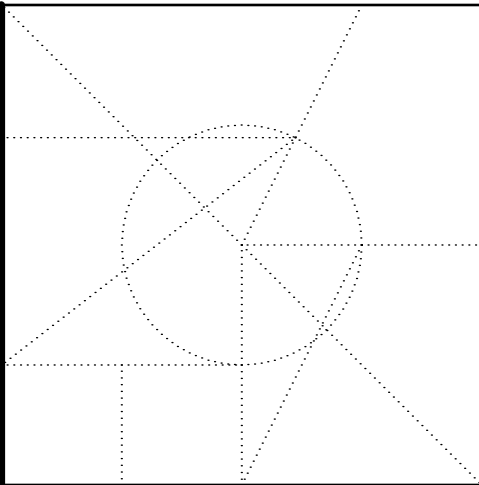
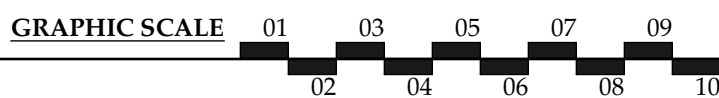




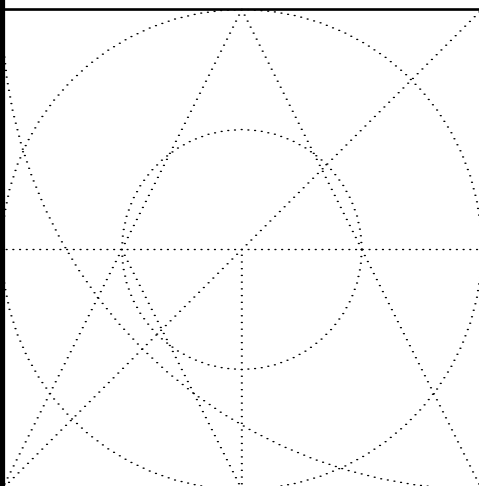
02
A3.01 **WEST ELEVATION**
SCALE: 1/4" = 1'-0"



01
A3.01 **SOUTH ELEVATION**
SCALE: 1/4" = 1'-0"



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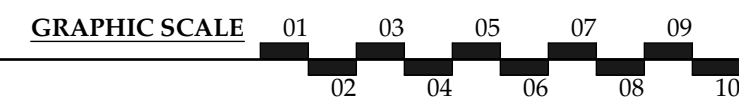
exterior elevations

A3.01

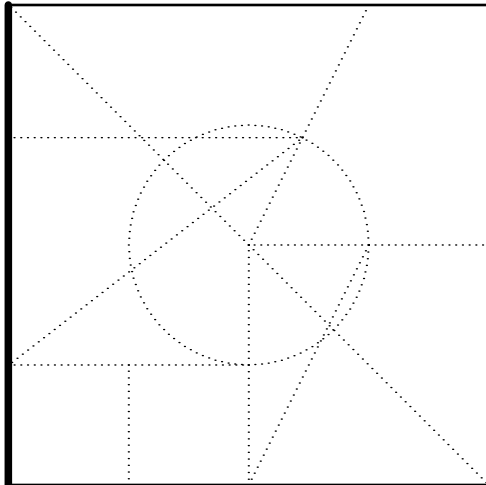
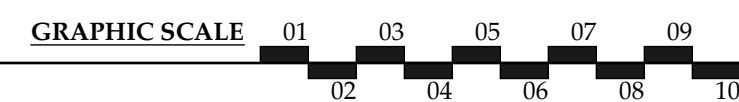
job # 1752



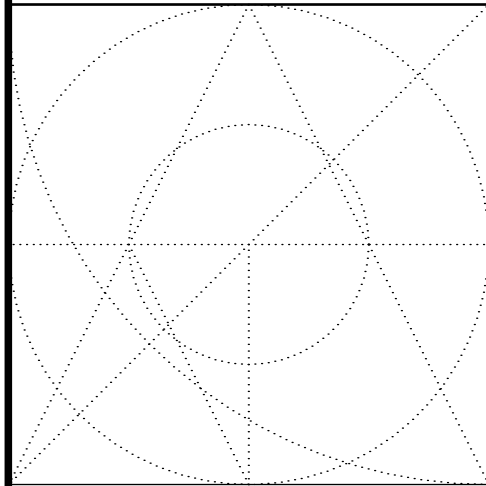
02 EAST ELEVATION
A3.02 SCALE: 1/4" = 1'-0"



01 NORTH ELEVATION
A3.02 SCALE: 1/4" = 1'-0"



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exterior elevations

A3.02

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